



BENDIGO CITY CENTRE PLAN **URBAN DESIGN FRAMEWORK**

DECEMBER 2022



CONTENTS

1	INTRODUCTION	4
	OBJECTIVES	5
	STRUCTURE	5
2	EXISTING FORM AND CHARACTER	6
3	URBAN DESIGN STRATEGY	12
	ACTIVITY AND BUILT FORM	13
	ACCESS AND MOVEMENT	14
	PUBLIC DOMAIN	15
4	URBAN DESIGN GUIDELINES	16
	BUILT FORM - BUILDING HEIGHT	17
	BUILT FORM - STREET WALL	19
	BUILT FORM - SETBACKS	24
	BUILT FORM - SITE COVER	25
	BUILT FORM - STRATEGIC SITES	26
	BUILT FORM - INTERFACES AND ACTIVATION	27
	BUILT FORM - ARCHITECTURE AND DESIGN QUALITY	30
	BUILT FORM - AMENITY	33
	ACCESS - PEDESTRIANS	35
	ACCESS - VEHICLES	36
5	PRECINCT DESIGN DIRECTIONS	38
	PRECINCT 1 RETAIL CORE	40
	PRECINCT 2 PERIPHERAL RETAIL AND COMMERCIAL	42
	PRECINCT 3 PREMIUM RESIDENTIAL	44
	PRECINCT 4 BENDIGO STATION, MARKETPLACE AND FORMER FACTORY SITES	46
	PRECINCT 5 CIVIC AND COMMERCIAL MIXED USE	48
	PRECINCT 6 BRIDGE STREET AND HOSPITAL	50
	PRECINCT 7 ROSALIND PARK	52
	PRECINCT 8 VIEW STREET	54
	PRECINCT 9 HIGH STREET	56
6	PLANNING SCHEME IMPLEMENTATION	58





1 INTRODUCTION

The Bendigo City Centre is a historically significant place, distinctive in character and of regional significance.

These attributes underpin considerable growth and economic development potential that will bring significant change to the cityscape over coming decades, and in accordance with the Bendigo City Centre Plan 2020 (City Centre Plan).

The Bendigo City Centre Urban Design Framework (UDF) addresses Action 18 of the City Centre Plan and has the primary purpose of providing strategic design direction to manage change in the urban environment, with a focus on built form and related amenity

and public domain outcomes.

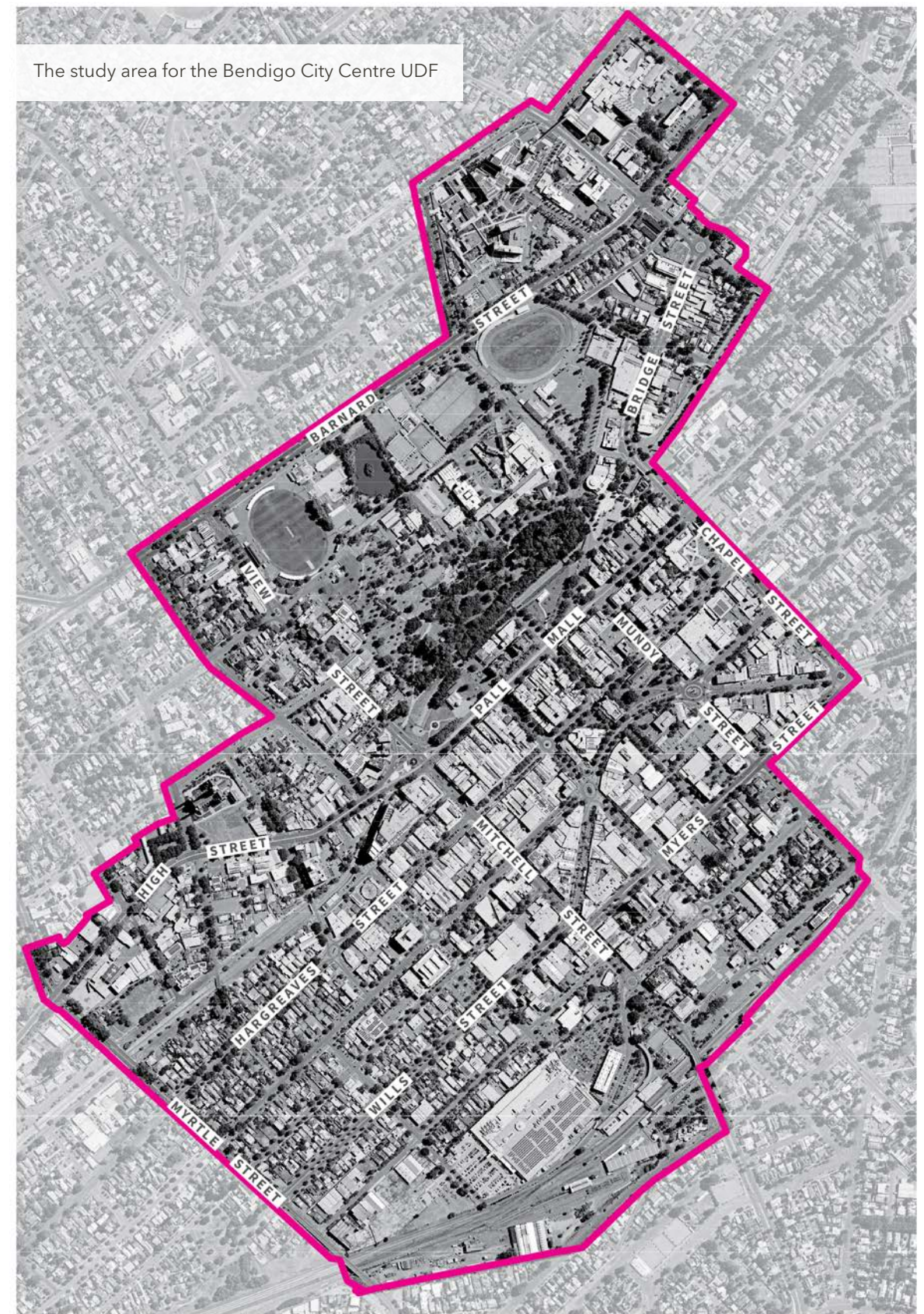
The UDF assembles built environment design guidance to support incremental contemporary development of the City Centre that is progressive, creative and optimal in its use of available infill opportunities, as well as complementary to the established heritage character and vernacular.

Consistent and considered application of the UDF by built environment professionals is essential to continue the city's strong urban design tradition - combining innovation and respect for the past to build a future cityscape that remains uniquely 'Bendigo'.

OBJECTIVES AND STUDY AREA

The UDF intends to:

- Enable growth of the City Centre population and a corresponding increase in development density
- Encourage a high quality, characterful, enduring and sustainable built environment
- Protect and complement heritage places and values
- Protect the amenity and assets of the public domain and private property
- Support new commercial and retail activity, as well as residential accommodation close to services and amenities
- Support the activation, vibrancy and safety of public streets and spaces
- Increase freedom of movement for people on foot
- Provide guidance for decision-makers and designers, property owners and occupiers, and the broader community



HOW TO USE THE UDF

The UDF is intended as a reference guide for those with a role or interest in the evolving built environment of the Bendigo City Centre, including decision-makers and development assessors, designers, property owners and occupiers, as well as the broader community.

Interpretation and application of design guidelines provided by the UDF should be based on a complete reading of the document, and of related documents.

Images and text should be read together. Individual images and illustrations should not be relied upon singularly, nor solely, for direction. Where any inconsistency appears to arise, guidance in writing shall prevail. If any an inconsistency or error is identified, or if clarity is sought in relation to the meaning of, or any aspect of, the document, advice should be sought from the City of Greater Bendigo.

Developers and prospective planning permit applicants should seek independent design expertise in interpretation and application of the Urban Design Framework to their development proposals, as well as for the preparation of related documentation.

UDF Structure

1	Introduction	An outline of the purpose and objectives of the UDF
2	Existing Form and Character	An overview of urban design elements that are intrinsic to the collective character, dynamics and distinctiveness of the Bendigo City Centre
3	Urban Design Strategy	The strategies that provide the basis for the urban design guidelines and recommendations
4	Urban Design Guidelines	Guidelines for the design of urban development, organised thematically
5	Precinct Directions	Precinct-based recommendations for different parts of the City Centre in response to localised conditions and opportunities, and the spatial framework of the City Centre Plan
6	Planning Scheme Implementation	A framework for the proposed implementation of the UDF into the Greater Bendigo Planning Scheme

Allied documents

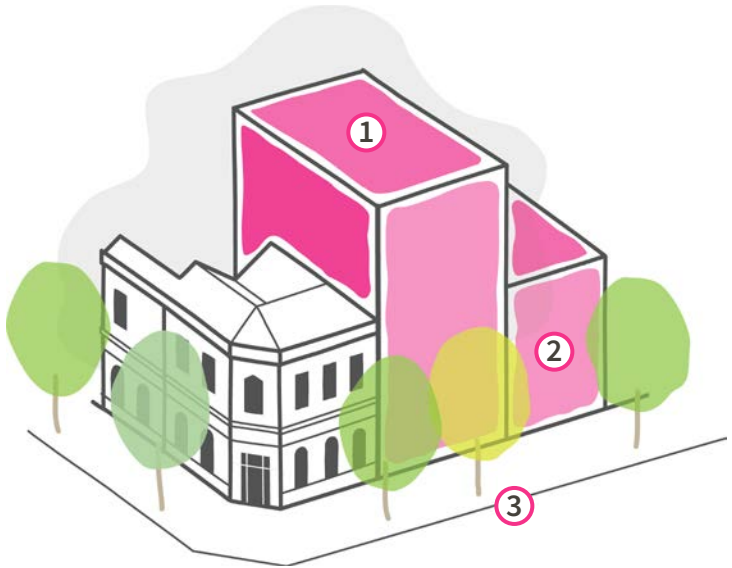
The UDF forms part of suite of related documents that work together to provide strategic planning and design direction for the land use, built form and public domain of the Bendigo City Centre.



- **Bendigo City Centre Plan 2020**
A plan to manage the growth of the City Centre as an increasingly important regional centre for employment, living, entertainment and tourism. The themes related to heritage, access and the public domain are of particular relevance



- **Bendigo City Centre Plan Urban Design Framework 2022**
Provides strategic design guidance to manage change in the City Centre's built environment, with a focus on built form and related amenity and public domain outcomes



- ① **Built form**
Refer to the **Urban Design Framework** for guidance
- ② **Building - public domain interface**
Refer to the **Urban Design Framework** for guidance
- ③ **Public domain**
Refer to the **Public Domain Design Guidelines** for guidance



- **Bendigo City Centre Parking Futures Action Plan 2020**
The Action Plan outlines how Bendigo can move away from the outdated 'business as usual' approach to car parking policy, to a more integrated and contemporary approach that stimulates economic growth, development and jobs in central Bendigo

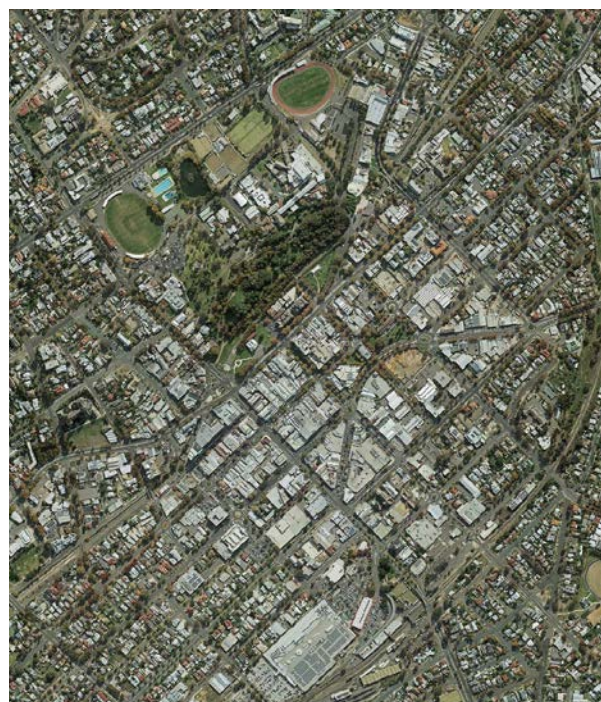


- **Bendigo City Centre Public Domain Design Guidelines 2022**
A reference guide to help coordinate the incremental design and development of the Bendigo City Centre public domain

2 BENDIGO'S URBAN DNA - EXISTING FORM AND CHARACTER

This section provides an overview of urban design elements that are intrinsic to the urban form, character, dynamics and distinctiveness of Bendigo's City Centre, and in turn, a foundational context, baseline and rationale for urban design guidelines.





A connected street grid.

The rectilinear grid of streets sets the foundational urban structure of the City Centre and forms a powerful armature for the public address of buildings.

Its unconventional orientation at approximately 45 degrees off north - in response to the alignment of the Bendigo Creek - allows for a more balanced distribution of sun penetration into public streets, on both north-south and east-west alignments, and also reduces the overshadowing impacts of taller buildings.



Grand entranceways and landmarks.

Several boulevard-like entranceways to the City Centre present as higher order streetscapes with prominent treed avenues, punctuated by landmark buildings that highlight architecture and serve as place markers.

The effective combination of prominent sites – usually street corners and sometimes locations that close off vistas which are a natural visual focal point – with prominent built form and distinctive architecture, is repeated across Bendigo City Centre, primarily on entranceways, though in other locations too.



Valley-like topography.

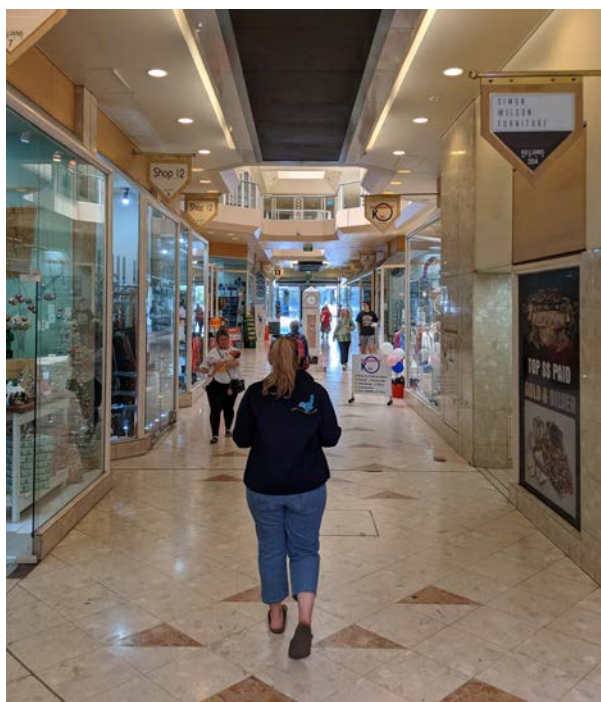
The City Centre is located on sloping terrain rising from the Bendigo Creek to the Bendigo Railway Station to the east and more steeply rising terrain westward into Rosalind Park.

This topography has influenced the orientation and layout of the street pattern and the built form of the cityscape with the majority of taller buildings being situated on lower-lying terrain, preserving outlooks over the heritage core from surrounding higher ground.



Interfaces with parks and civic spaces.

A small number of important and primarily historic public spaces – parklands and civic spaces – contribute significantly to the character, quality and liveability of central Bendigo. These spaces are typically framed and overlooked by buildings and provide a counterpoint to the built-up surroundings.



Arcades and laneways.

Open laneways and covered arcades provide a network of smaller scale thoroughfares for pedestrian movement across the City Centre.

Some links are simple walk-throughs for convenience, though a good number are also lined by commercial premises which add to the diversity of the local economy and bring life to the street.



Well-proportioned, enclosed streetscapes.

Streets in commercial and mixed use areas tend to be defined by unbroken street walls built to the street edge. There is some variation in street wall height along individual streets, though one to two storeys are most common and tend to appear taller due to traditional proportions. Well-scaled street trees also contribute to streetscape enclosure.

Set along wide street reserves of typically 30 metres, the effect is of well-proportioned, enclosed streetscapes, that enable sun penetration and shade, as well as openness to the sky. The substantial width of the street reserves allows for taller buildings without detriment to environmental effects and visual proportions.

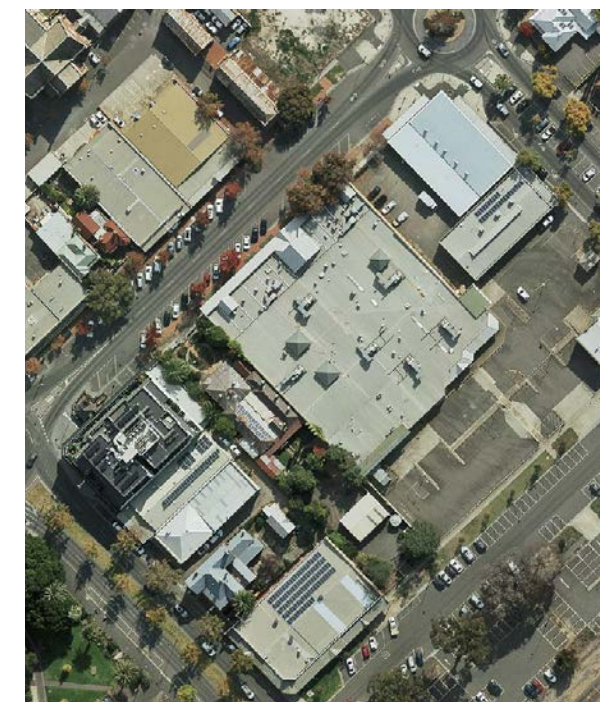


The 'Bendigo style'.

Whilst layers of built history can be found in the City Centre; the most identifiable and valued is arguably the 'Bendigo style' of development from the late 1800s. This period is exemplified by grand buildings that tend to be taller-than-wide in the proportions of volume and facade appearance. Architectural features are pronounced and include mansard roofs, extravagant decoration, monumental colonnades and porticos, towers, arches and modelling of facades.

The rich exteriors generally enclose generous and lofty internal spaces and ground and upper levels. The essence of these buildings, which underpins their prominent contribution to the built form of the Bendigo City Centre, is simple, bold form embellished with distinctive features and ornamentation.

Display of vibrant colours is also integral to the Bendigo style.



Development density.

There is capacity for infill development across the City Centre which varies considerably between individual street blocks and precincts. Several street blocks in or close to the Retail Core have a fully built-out footprint, with some increased density potential at their core through greater building height.

Site coverage tends to reduce with distance from the Retail Core, due mainly to on-site parking and access allocations. The main concentration of lower density urban form follows an approximate arc, running around the south, east and north of the Retail Core and mainly on rising terrain.

Sites with substantial development capacity and strategic development attributes are scattered throughout.



Low to medium-rise urban form.

Bendigo is a traditional low- to medium-rise centre - equivalent to up to five or six storeys, and with several common tiers of building height below this.

Variability in building heights on individual streets and across precincts is a distinctive characteristic of the city. Taller buildings, or otherwise prominent buildings, occupy prominent locations and create important landmarks.

Lower-rise buildings predominate in the residential neighbourhoods on the periphery, though can tend to appear more substantial in scale due to traditional building proportions.



Setbacks that reinforce form.

Streetscapes within the commercial core have an established pattern of buildings built to the street edge, contributing to the enclosure and activation of the street.

The setback of buildings from front boundaries, to varying depths, creates a different relationship and dynamic with the street, and can be seen employed by some civic buildings as a visual contrast to zero setback streetwalls, and most often in residential streetscapes around the periphery of the City Centre.



Weather protection for public streets.

The weather protection role of verandahs and awnings – traditional or contemporary – is also integral to life in public streetscapes of the City Centre. Some streets, especially in the commercial core, have continuous weather protection on both sides.

Elsewhere there tend to be gaps where continuous cover would be beneficial. Away from the Retail Core, as lines of buildings at the street edge give way to freestanding, residential-style buildings set back from the street, footpath cover is impractical, and the weather protection role falls to the street trees.



Patterns of shade and filtered light.

Light, shade and shadow, provided by broad traditional verandahs, ornate building facades and street tree canopies, have become an important characteristic of the City Centre's built form and public domain.

This effect is increasingly prevalent in the city's contemporary buildings, through architectural treatments such as decorative awnings, louvres and screen, and is becoming a vital part of building design response to the region's climate.

An aerial photograph of a city grid, likely Bendigo, Australia. The image shows a dense pattern of residential streets and buildings. A large, semi-transparent pink overlay covers the right half of the image, while the left half remains in its original color. In the top left corner, there is a large pink number '3'.

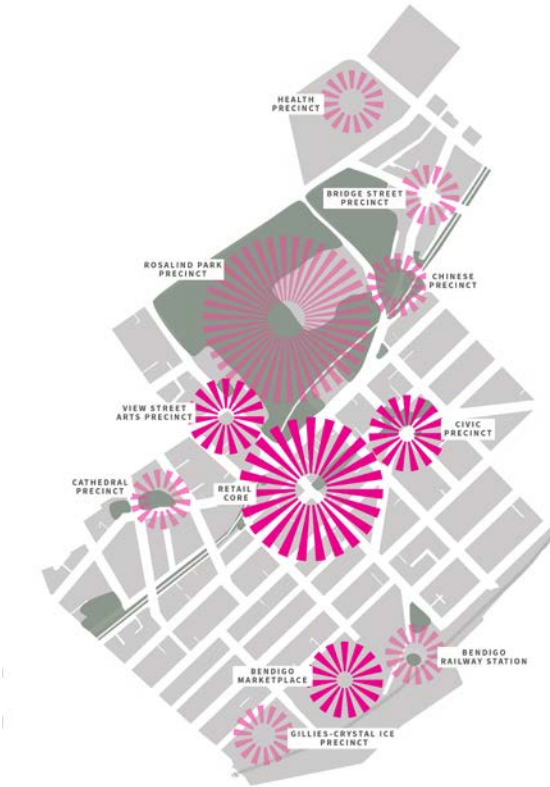
3



URBAN DESIGN STRATEGY

This section highlights the most important and influential elements of urban design that are to be employed, individually and collectively, as driving forces for shaping its future of the Bendigo City Centre. These elements are organised in three main themes:

- ▶ Activity and Built Form
- ▶ Access and Movement
- ▶ Public Domain

URBAN DESIGN STRATEGY ACTIVITY AND BUILT FORM






-  High activity destination
-  Moderate activity destination

Activated precincts and optimised development.

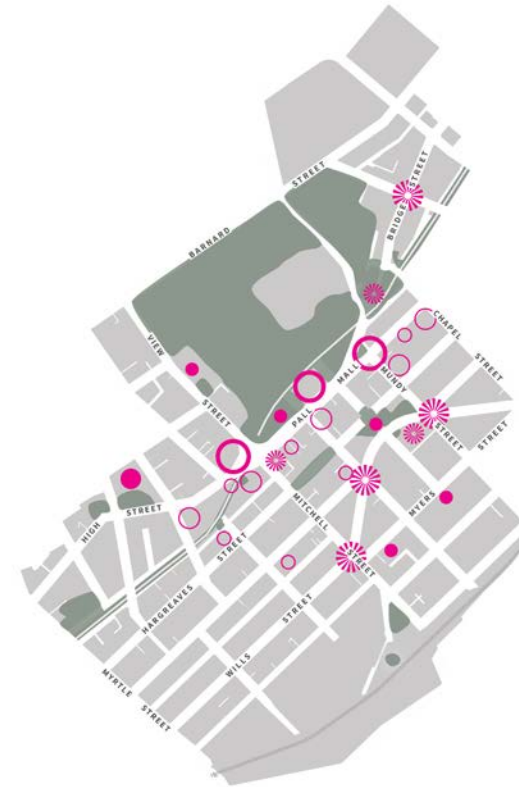
- **Targeted development intensity.** Increase, appropriately scale and diversify the uses associated with development in and around key employment and activity areas
- **Strategic sites.** Optimise the capacity of identified sites for increased development density and mixed use based on their redevelopment potential and in response to projected floorspace demand






-  Victorian Heritage Register (VHR) places
-  Significant individual heritage places
-  Significant heritage precinct

Past and future built heritage.

- **Preserved and revitalised heritage.** Respect the significant built heritage of the City Centre as an integral and distinctive aspect of its character and enable adaptive reuse of heritage places to support their preservation
- **Respectful heritage integration.** Sensitively integrate new development in response to heritage built form. Respectfully proportion and style building architecture adjacent to heritage places and ensure buildings are contextually-responsive, sustainable and designed to be durable and lasting

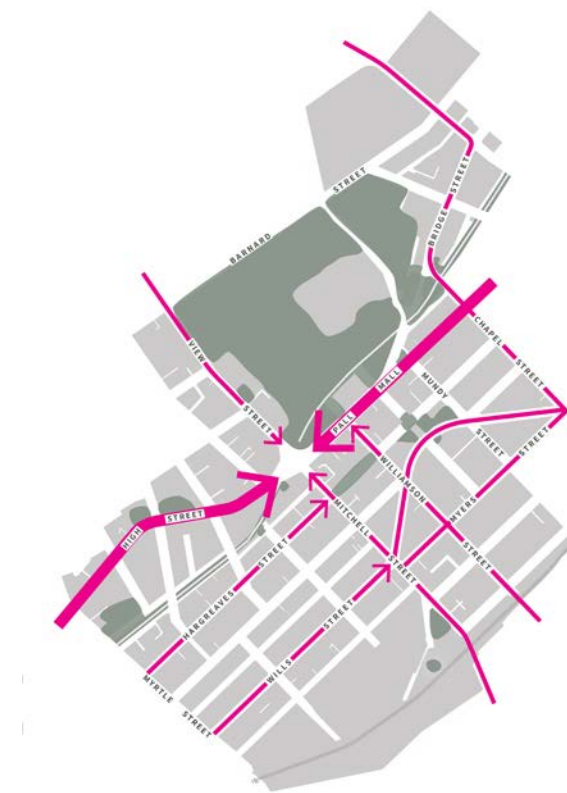


-  Existing public landmark
-  Existing private building landmark
-  Building cluster landmark
-  Key locations for future building landmarks

Cityscape landmarks.

- **Prominent vistas and street corner architecture.** Develop street corners, especially in higher profile locations, and sites that terminate vistas, with distinctive architecture
- **Civic places and spaces.** Respect the setting and significance of civic and other important buildings with complementary design of adjacent buildings and public domain

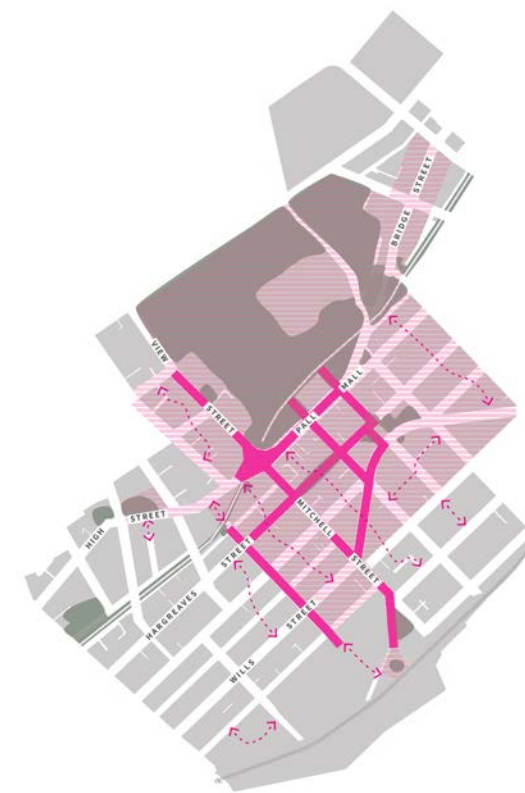
URBAN DESIGN STRATEGY ACCESS AND MOVEMENT



- ← City Centre Entranceway Boulevard
- City Centre Entranceway

Entranceways.

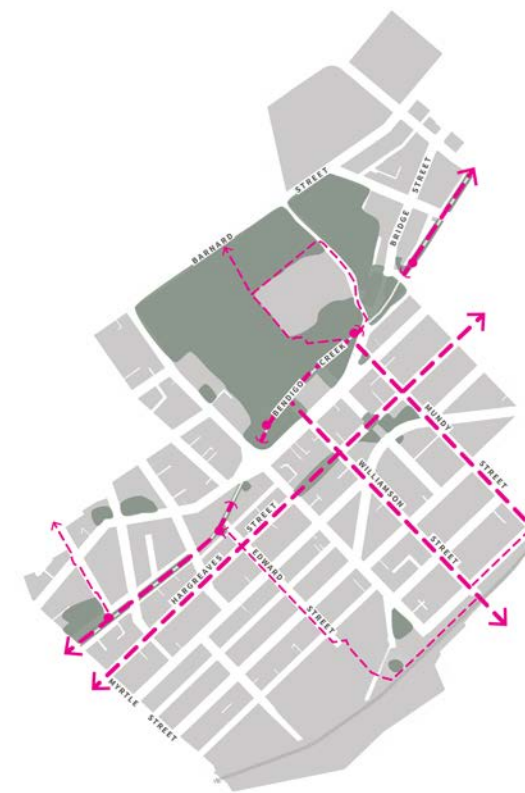
- **Walkable core.** Respond to the heightened importance of building and public space design on high profile thoroughfares
- **Protected vistas.** Preserve and enhance important public viewlines to significant heritage places, significant and high-profile public streetscapes and significant public space landscapes



- High capacity walking streets
- Walking priority precinct
- Through-block link pathways

Pedestrian movement.

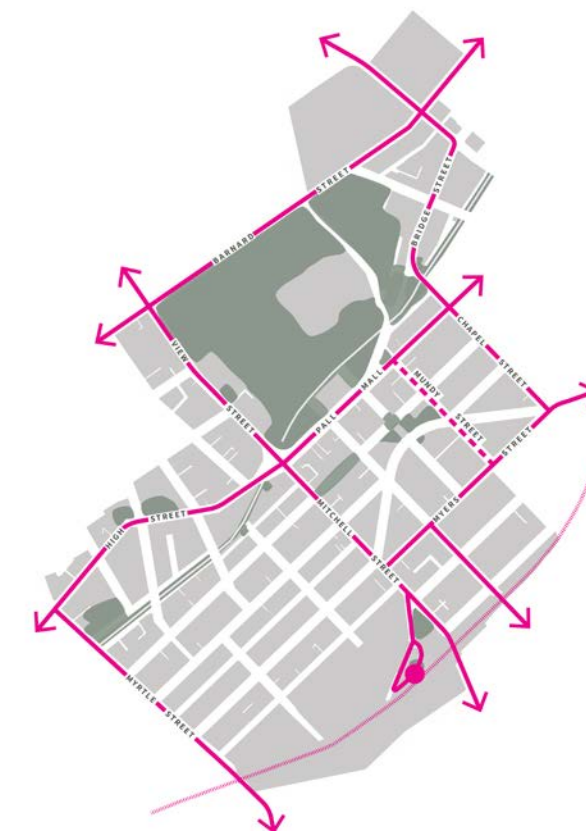
- **Walking streets.** Improve and expand the network of high capacity and high amenity walking streets connecting major City Centre destinations
- **Walkable core.** Improve pedestrian access, safety and amenity across the walking priority precinct of the City Centre
- **Alternatives and shortcuts.** Add to the mix of open laneways, enclosed arcades, activated corridors and simple walk-throughs to create a fine-grained movement network



- Protected cycleway network
- Secondary cycleways
- Proposed Bendigo Creek Low Line access/egress points

Cycling movement.

- **Priority cycling access.** Dedicate a minimum grid of public space corridors for safe, universal cycle access, including protected cycleways
- **Cycling central.** Link the City Centre as a central hub for the wider cycling network across urban Bendigo

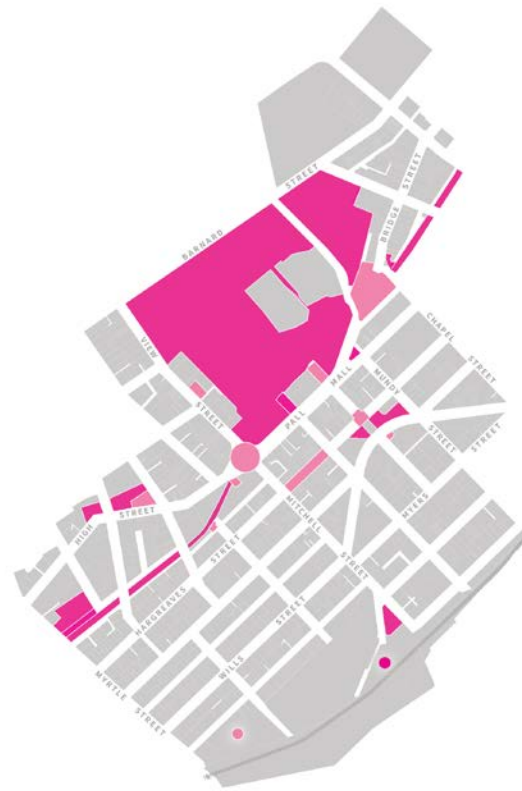


- City Centre bus route
- Railway line
- Bendigo Railway Station (PT interchange)

Public transport.

- **Bus access.** Encourage intensification of development along and in close proximity to bus routes
- **Bus stop amenity.** Improve the quality of public transport infrastructure and amenities along City Centre bus routes. Integrate and coordinate bus stops with public spaces and building entrances

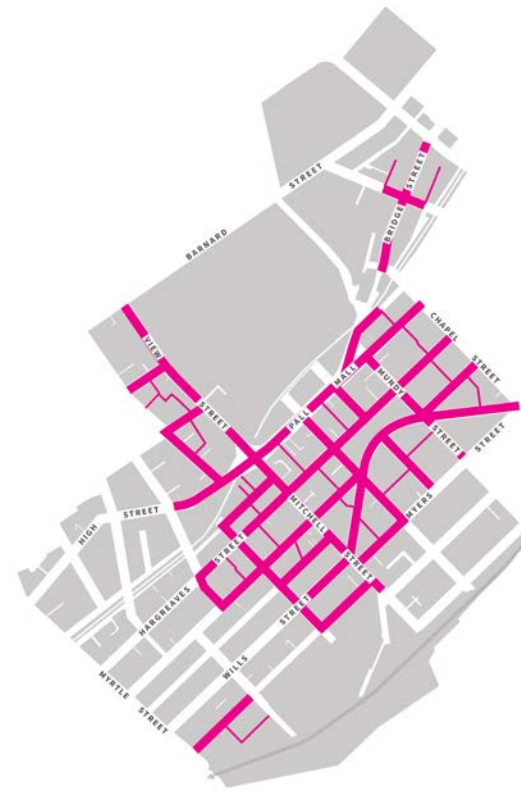
URBAN DESIGN STRATEGY PUBLIC DOMAIN



- Parkland
- Civic spaces

Great parks and civic spaces.

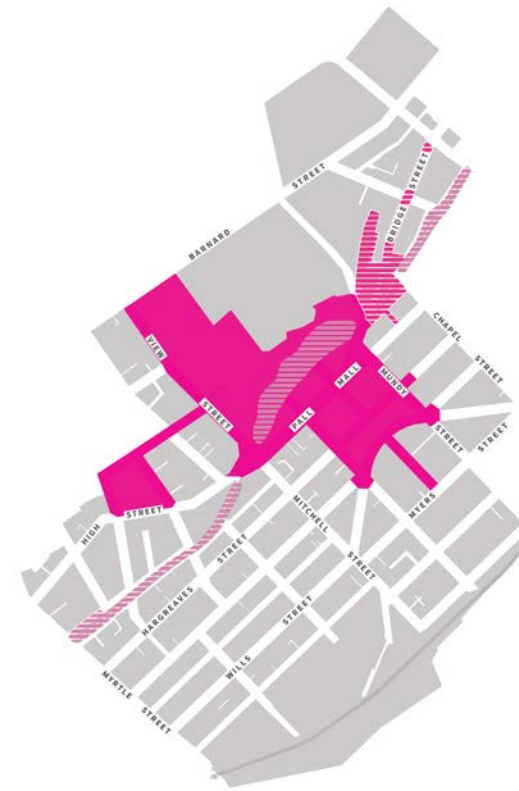
- **New spaces.** Create a major arrival, gathering and events space at Charing Cross, and new civic spaces at the Sacred Heart Cathedral and on Bath Lane
- **Public use of civic buildings.** Incorporate public forecourts as part of new and upgraded civic buildings. Create a prominent public forecourt to the Bendigo Railway Station to greet arrivals and visitors to Bendigo
- **Buildings that shape spaces.** Ensure new built form addresses, frame and activates the public space, and enhances it with responsive architecture



- Higher activity, higher profile streets
- Laneways and arcades (through-block links)

Vibrant, people-friendly streets.

- **Enclosed, human-scale streetscapes.** Use street walls and avenues of street tree plantings to frame and enclose mixed use commercial core and other higher activity streetscapes
- **Enhanced and activated street interfaces.** Contribute enlivening and amenity of these streets with engaging building interfaces, weather protection and by minimising the impact of site access and building services
- **High quality public domain.** Achieve a consistently higher standard of design and treatments in these more active and higher profile streetscapes



- Dja Dja Wurrung cultural heritage focus
- Chinese precinct
- European heritage core

Heritage precincts and culture.

- **Presence of Traditional Owners.** Recognise Dja Dja Wurrung cultural values along the Bendigo Creek and linked open spaces such as Rosalind Park
- **Chinese history.** Recognise the history of the Bendigo Chinese at Dai Gum San (Chinese Precinct) and along Bridge Street
- **European history and character.** Recognise and enhance the layers of authentic gold rush era public domain treatments in the City Centre core
- **Engaging heritage places.** Enhance the public space setting of significant heritage buildings especially those with a civic or public function



- Green space (parks and civic spaces)
- Street tree cover
- Water features / elements
- Bendigo Creek

City Centre oasis.

- **Web of greenery.** Grow a connected web of tree canopy and understorey plantings that reach across the public domain to shade and cool the City Centre. Capture stormwater for passive irrigation and maximise permeable surfaces
- **Presence of water.** Incorporate water elements in the public domain for cooling, tranquillity and play
- **Generous shade.** Expand the use of verandahs, awnings, canopies and other shade structures

4 URBAN DESIGN GUIDELINES

This section provides addresses the key elements of design guidance for new development in the Bendigo City Centre, as follows:

Built form

- ▶ Building height
- ▶ Street wall
- ▶ Setbacks
- ▶ Site cover
- ▶ Strategic sites
- ▶ Interfaces and activation
- ▶ Architecture and design quality

Amenity

- ▶ Viewlines
- ▶ Shading of public space

Access

- ▶ Pedestrians
- ▶ Vehicles

BUILT FORM BUILDING HEIGHT

Historic built form context

The Bendigo City Centre comprises low- to medium-rise scale of building of up to five or six storeys (nominally 20 metres). This predominant, historical built form provides the context and critical baseline reference point for guiding the scale of new development, including the preferred maximum building heights.

Localised variations in building height

Within this overall umbrella, three broad tiers of historical building height predominate, with considerable variation in between, as follows:

- **20 metres (5-6 storeys).** e.g. View Point, Morley Johnson building, The Capital Theatre
- **14-16 metres (4-5 storeys).** e.g. Bendigo Beehive, Webb & Co Building, Bendigo TAFE
- **9-12 metres (3-4 storeys).** e.g. Former Gillies factory, Former Bendigo Weekly building, as well as many historic commercial premises and residences

In addition, there are a number of buildings, both historic and contemporary, that punctuate the City Centre skyline and landscape as landmarks due to additional height. Examples include the Shamrock Hotel (28m), the new Bendigo Law Courts (28m), the Bendigo Bank Headquarters (31m) and the St Paul's Cathedral (33m).

The effect of elevation is also of considerable influence with respect to the perception of building height due to the valley topography of the City Centre; increasing the effective height at higher elevations, and moderating height along the valley floor.

Figure 1 illustrates the tiers of building height across the City Centre, and the associated impact of elevation, using a selection of existing buildings as benchmarks.

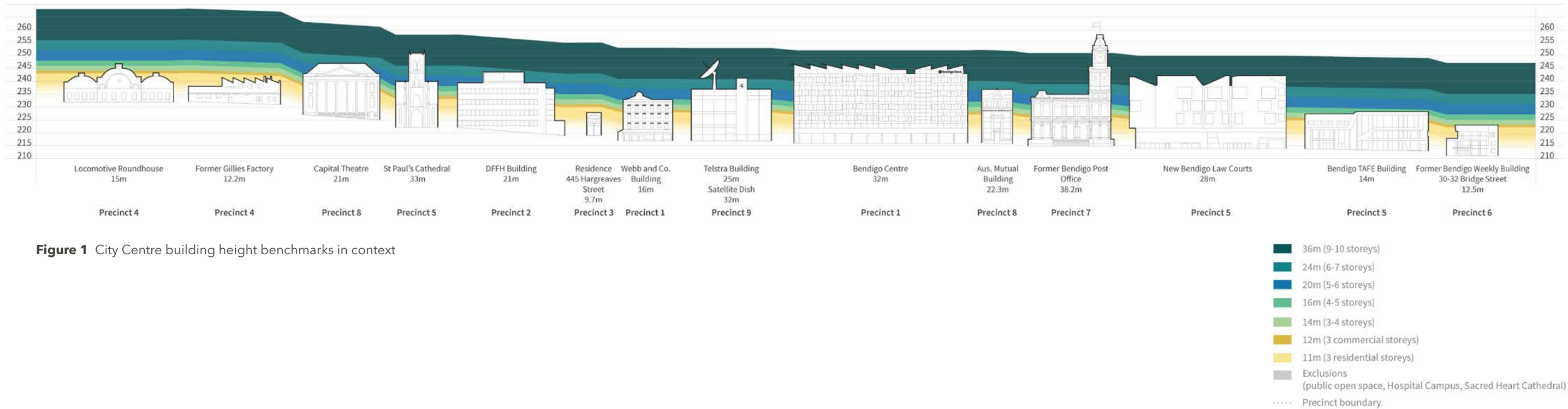


Figure 1 City Centre building height benchmarks in context

BUILT FORM BUILDING HEIGHT

The aforementioned tiers of development scale have been applied and adapted spatially as preferred maximum building heights* (refer Figure 2) with consideration to:

- The scale, proportion and character of existing built form
- Development opportunities and enabling forms that reflect the precinct vision
- Transitioning and mitigating amenity impacts between land uses
- Local topography and elevation

* Note identified exception (refer Precinct 8 - View Street) where mandatory building heights are recommended

Height measurement

Building height is the vertical distance between the finished grade of the site measured at the public domain interface and the highest point on the building, excluding secondary architectural features such as chimneys, flues, antennas, masts and communications devices. On sloped sites, building height is to be measured from the average finished grade to the highest point on the building.

Building plant/plant rooms and lift overruns of up to 3.5 metres in height are excluded from the building height measurement where these structures are minimal relative to total roof area, visually recessive, and appropriately screened or aesthetically integrated as part of the overall building design.

Taller buildings

Additional building height above the preferred maximum may be considered in special situations, as follows:

- Strategic sites, street corners and sites that terminate key public vistas
- Adjacency to a public space, including parkland, civic spaces and through-block links
- Where an identified through-block link at ground level, that is publicly accessible and provided with active development frontage, will be created
- Where a new public open space or semi-public space at ground level will be created
- Where significant works to upgrade adjoining areas of public domain are proposed (e.g. footpath widening with pavement upgrade and public amenities installation)
- Where a heritage place is to be restored and adaptively reused, and only where appropriate to the site and heritage context

The amount of additional height that may be considered is not prescribed, though should be proportional and reasonable relative the scale and type of development and to the site context.

In all circumstances, an innovative and highly context-responsive design is essential and must demonstrate a clear relationship between the appearance and function of new development and the valued characteristics of its context.

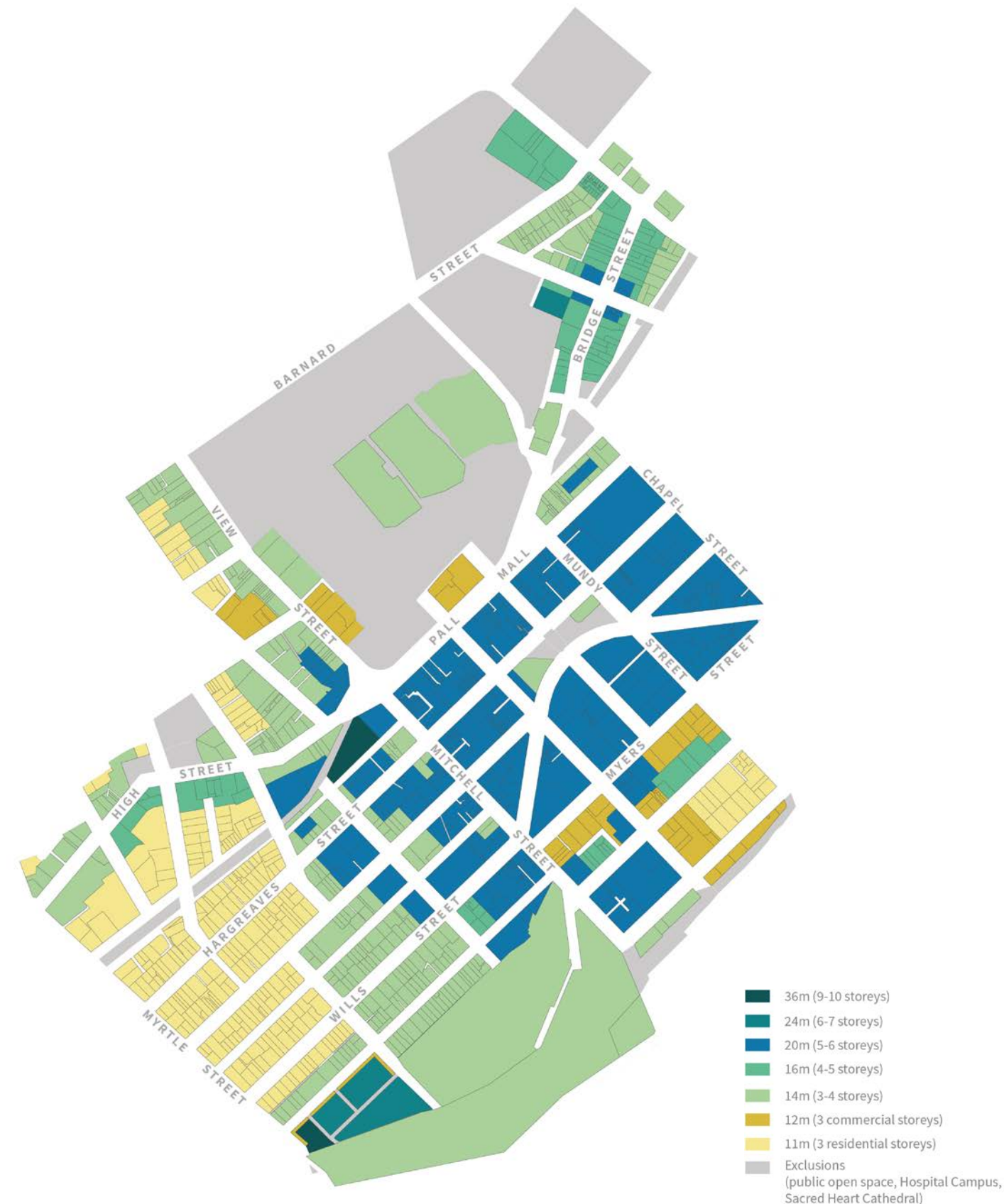


Figure 2 Guidance on preferred maximum building height across the City Centre

BUILT FORM BUILDING HEIGHT

Transitions in building height

The height of a building/s across a site should be appropriately adjusted in response to the characteristics of adjoining sites and buildings.

Building height may be modulated downward, usually in response to heritage significance and/or amenity factors (see Figure 3A). Examples of transitioning building height include:

- Matching the height of part of a new building to an adjacent heritage place and increasing height with distance from the heritage place (see Figure 3A)
- Articulating the height and form of a new building in response to distinctive and important features of an adjoining heritage place (see Figure 3B)
- The use of linking structures where a heritage place forms part of a development (see Figure 3C)
- Maintaining a well-proportioned, undeveloped open space between a new building and heritage place (see Figure 3D)

There will also be sites where development at the preferred maximum building height may have amenity, heritage or visual impacts. Building height transitions, setbacks and site coverage are to be used to manage and mitigate these impacts.

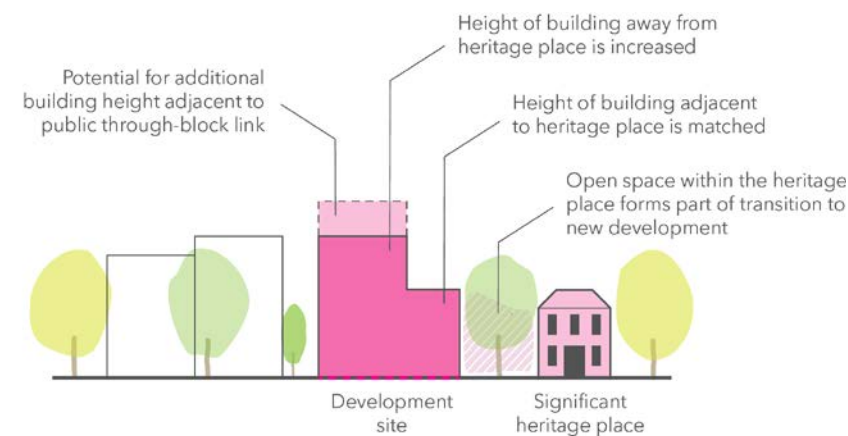


Figure 3A Modulation of building height in response to different aspects of a development sites' context

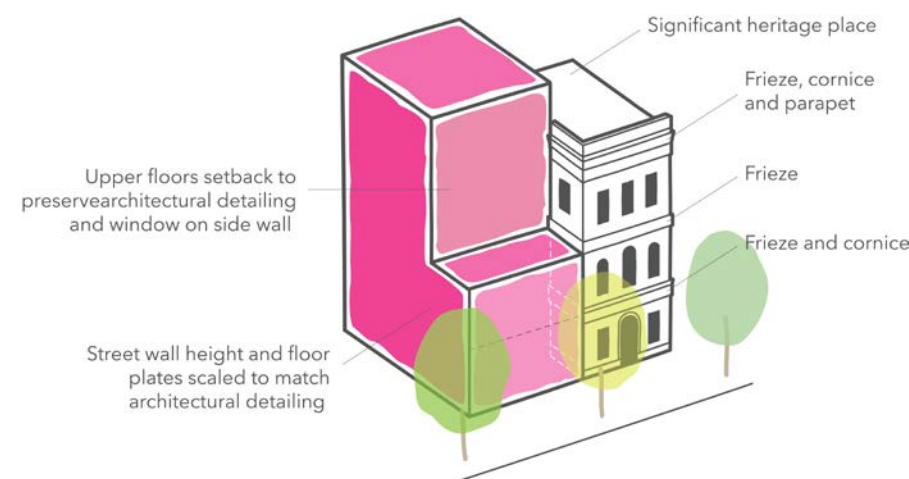


Figure 3B Building height and setbacks in response to significant features of an adjoining heritage place

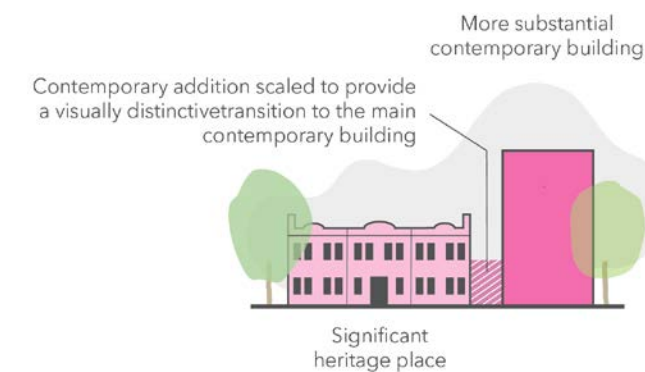


Figure 3C Well-scaled linking structures provide an integrated transition between a heritage place and contemporary building

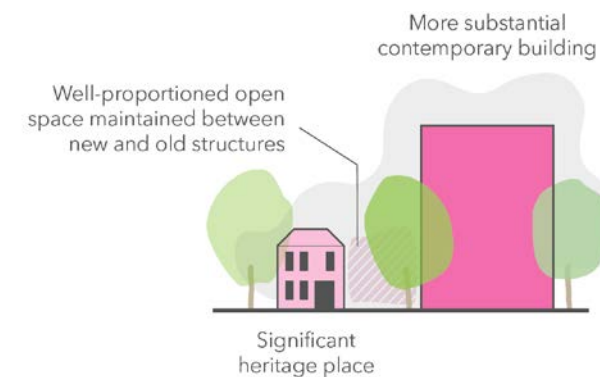


Figure 3D Open space to assist transition from lower-scale heritage place to taller contemporary building

BUILT FORM STREET WALL

Use of building height to reinforce urban form

Building height is integral to reinforcing certain distinctive urban form characteristics of central Bendigo, including:

- Variations in building height that create a rhythmic variation in built form along a street (see Figure 4A)
- Prominent buildings on major street corners and to 'book-end' street blocks (see Figure 4B), noting that buildings in these locations are not always taller, and may otherwise be visually distinctive
- Prominent buildings that close off and create the focal point of important vistas from the public domain

The design response should address these aspects where applicable.

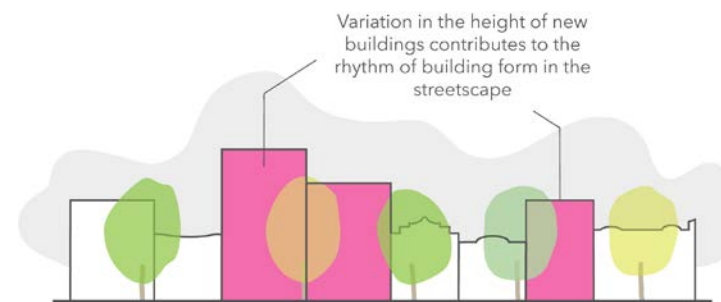


Figure 4A Varied building heights create a streetscape rhythm

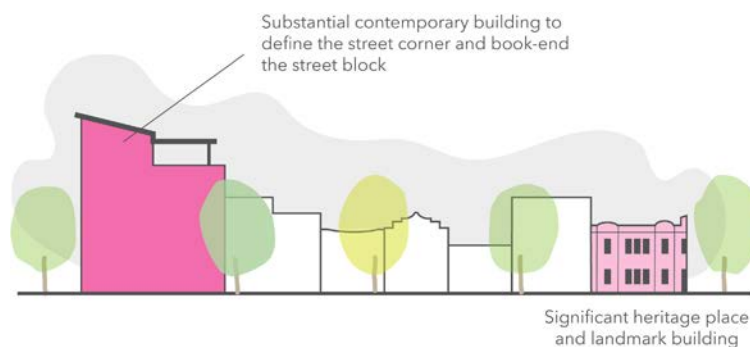


Figure 4B Building landmarks to 'book-end' a street block



A prominent street block along High Street is book-ended by two significant heritage buildings - the City Family Hotel (foreground) and former YMCA (far distance)



BUILT FORM STREET WALL

Street walls

- Reinforce the vertical street wall as a distinctive and common characteristic of buildings in streets within the Bendigo commercial core, commercial and mixed use buildings
- Provide continuous, vertical building facades at the street edge, within the preferred maximum building height, to define the streetscape and/or other adjoining public open space (see Figure 6A)
- Discourage building forms that are uncharacteristic of Bendigo's predominant traditional character and will reduce the predominance of vertical building facades (see Figure 6B), most notably:
 - / Podium-tower architecture, which is unnecessary due to the relative low overall building heights of the City Centre
 - / Stepped or tiered front setbacks, except where necessary in response to the preservation of significant and contributory heritages places (see Heritage street walls)
- Buildings addressing narrower streets (e.g. laneways) and other confined public spaces may be considered for exemption from the vertical street wall requirement where it can be demonstrated that improved public amenity and built form outcomes will be achieved
- Vertical street wall form should not prevent or unreasonably limit the architectural articulation and activation (e.g. with balconies, etc) of building facades

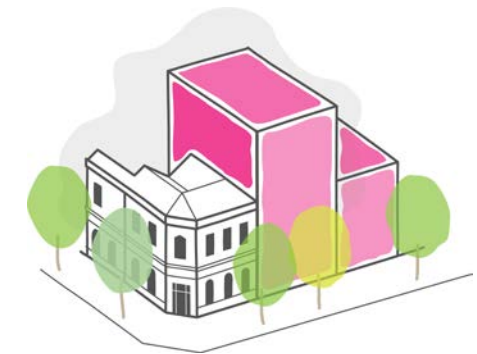


Figure 6A Preferred street wall approach:
Vertical building facades define the street wall and are distinctive of central Bendigo

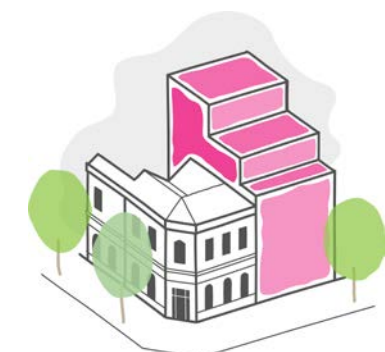
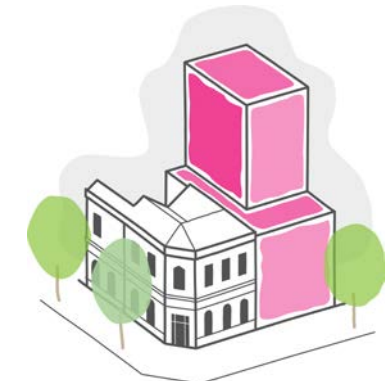


Figure 6B Street wall approaches to avoid:
Podium-tower style buildings, and buildings with stepped upper levels, create building forms that are not in keeping with the established traditional character of central Bendigo

BUILT FORM STREET WALL

Heritage street walls

- Adopt well-scaled, proportional transitions in the street wall height of new development relative to adjoining significant and contributory heritage places (i.e. avoid abrupt shifts in the scale of new and old buildings)
- Preserve the three-dimensional form of significant and contributory heritage places behind the heritage street wall (i.e. retention of the facade only – ‘facadism’ – is not acceptable)
- Set back new building form above the heritage street wall (see Figures 7A and 7B) such that new development:
 - / Is visually recessive (though may be visible) from street level
 - / Is responsive to the location and context (e.g. a prominent street corner)
 - / Preserves the form and character of significant and contributory heritage places (e.g. distinctive and/or historically significant heritage features such as roof forms, parapets, chimneys or clerestory windows)
 - / Is at least 4 metres (reflecting a single traditional room depth) behind the heritage street wall of a contributory heritage building
- / Preserves the overall prominence of the heritage building/s and does not dominate or disrupt visual appreciation from the street or other public space

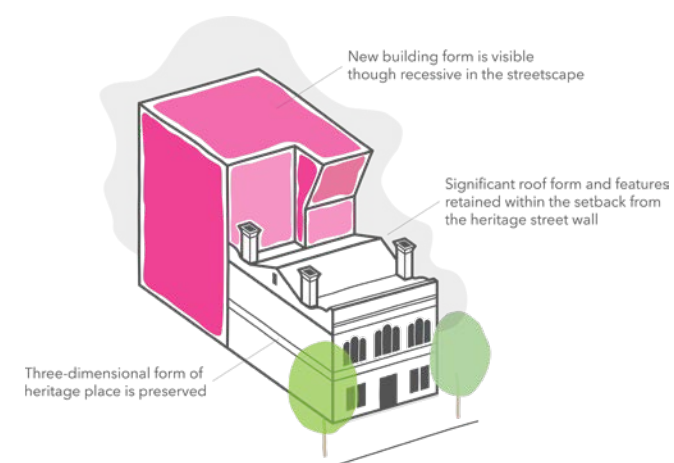


Figure 7A Set back of new development behind a heritage street wall associated with a significant heritage place

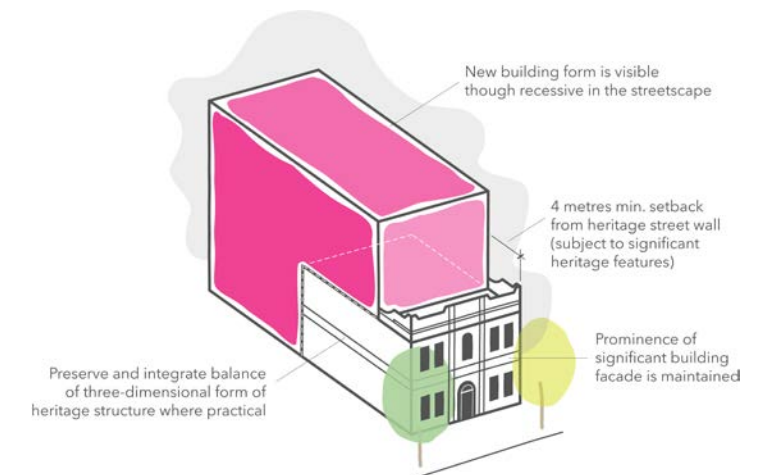


Figure 7B Set back of new development behind a heritage street wall with a contributory heritage place (significant facade only)



The City Centre roovescape combines significant heritage features to be preserved, as well as pockets of potential for the integration of new buildings

BUILT FORM STREET WALL

Heritage street walls (cont.)

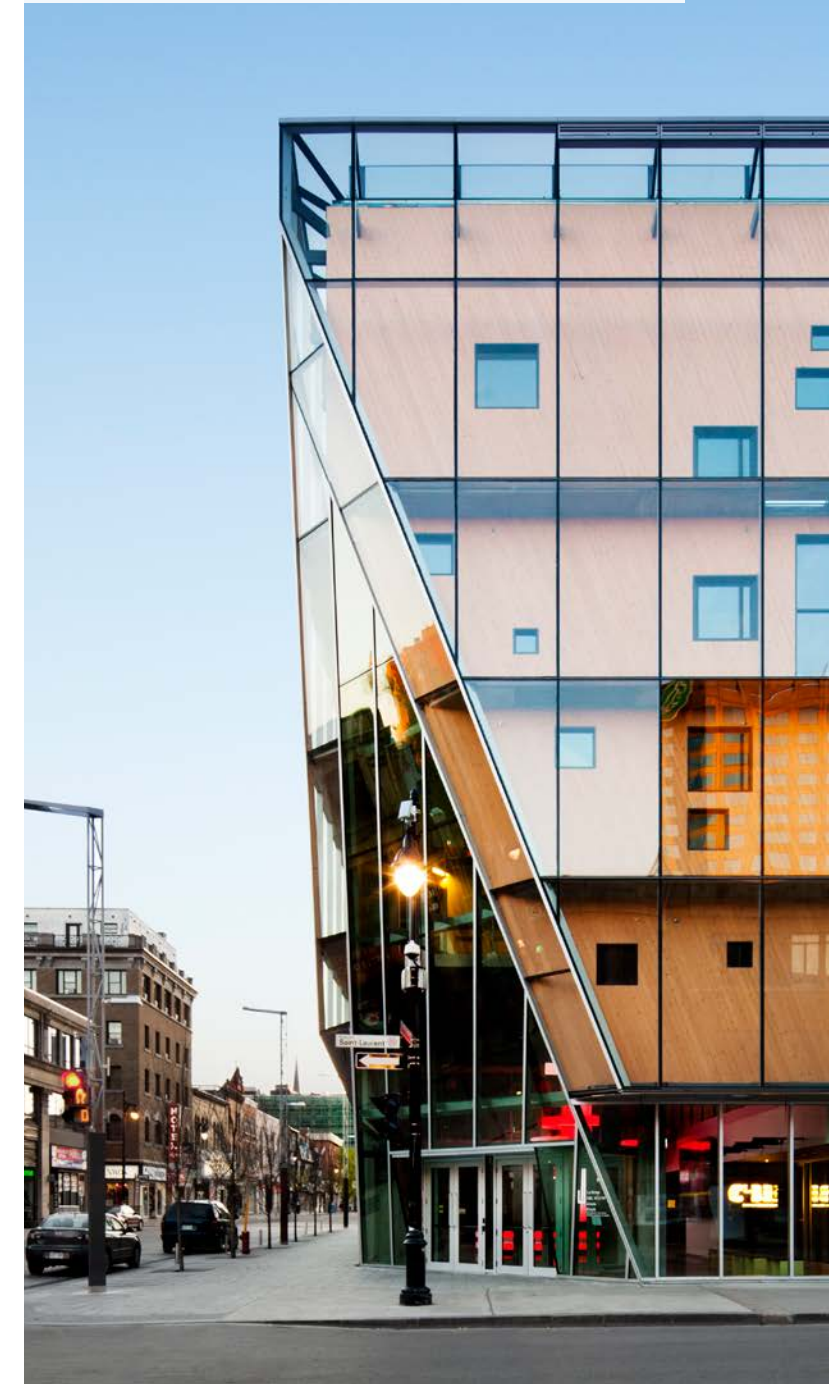
- Consider the cantilever of new development volumes relative to a heritage building only in exceptional circumstances and where:
 - / The heritage building forms part of, and is integral to, the overall development and use
 - / Built form does not extend into the air space within the required setback, nor above any significant heritage features
 - / A clear and respectful visual separation, and harmonic composition, of old and new forms is demonstrated (i.e. separate but linked forms)
 - / The above-mentioned setback guidelines are met where applicable



Street corners

- Buildings designed for corner sites should:
 - / Appropriately interface and interact with each street address and the street corner
 - / Allow for design innovation appropriate to the relative prominence of the site and with consideration to heritage places adjoining or located at other corners for the street junction
 - / Preferably incorporate a chamfered building façade arrangement (except for corner sites on laneways and narrow side streets) to assist building presentation and visibility, and to assist pedestrian movement, gathering and sightlines at street level

A street corner landmark with chamfered street address created by the Le 2-22 in Montreal, Canada



BUILT FORM SETBACKS

Front setbacks

- Adopt a zero street (built to street edge) setback in commercial core streets and in other identified areas, unless a contextual setback is essential to the design response (e.g. adjacent to a heritage place or existing building with a contextual setback) (refer Figures 8 and 9A)
- Adopt a contextual setback, with buildings setback a shallow distance (approximately 2-5metres) from the street edge in residential areas (refer Figures 8 and 9B)
- For institutional uses (e.g. education or health facilities), a contextual setback may be appropriate to the use and function of the site
- Front setbacks are not to be used for car parking or as a service area

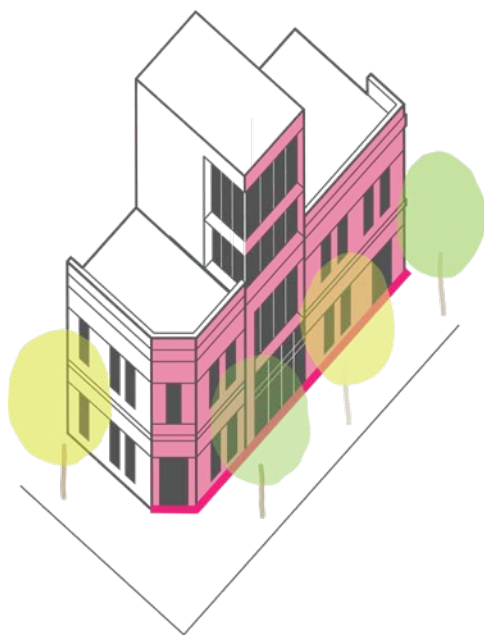


Figure 9A Zero street setback in a commercial core street

Side and rear setbacks

- Side setbacks at the street frontage are not preferred where there is a zero street setback
- Where the amenity of adjoining property, related to windows or private open space, is to be protected, and/or where amenity within the development site is to be enhanced, a building should be constructed on the side boundary for a minimum of approximately 4 metres (single room depth) to maintain the urban form of continuous facades with zero street setback
- Side and rear setbacks and walls on boundaries should otherwise meet Standard A10 of 54.04-1 (Side and rear setbacks objective) and Standard A11 of 54.04-2 (Walls on boundaries objective)
- Incorporate canopy trees and other soft landscaping within setback areas where possible

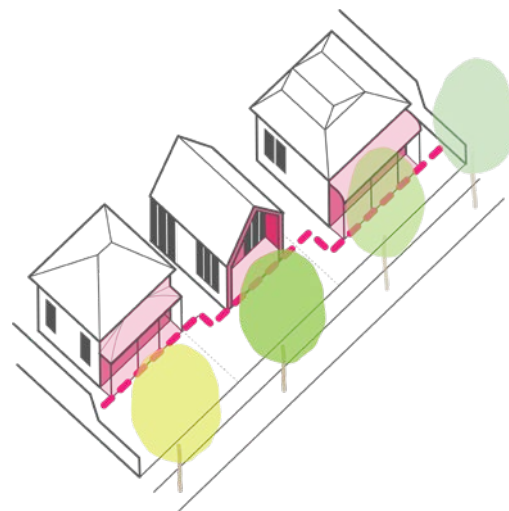


Figure 9B Contextual setback

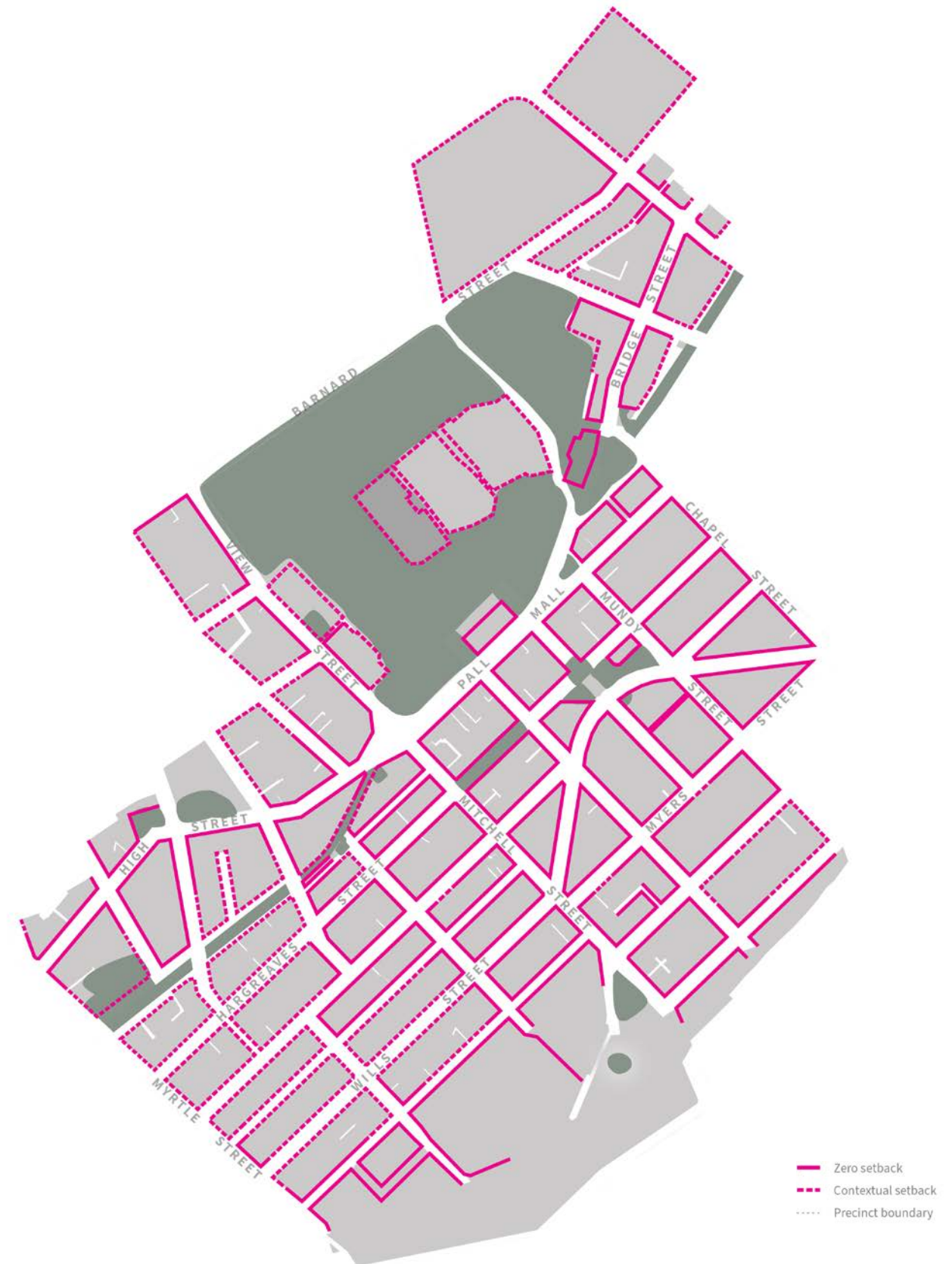


Figure 8 Preferred building setbacks across the City Centre

BUILT FORM SITE COVER

- Provide a site cover response that responds to the preferred site cover recommendations (refer Figure 10), which aim to optimise development potential with consideration to the predominating character of a street or precinct. Note some site-specific site cover recommendations reflect existing conditions that are not expected to significantly change (usually in association with heritage values)
- Ensure that the site cover response also:
 - / Optimises use of the available site area
 - / Allows for a building footprint size and arrangement appropriate for the intended building use
 - / Provides access to natural light and ventilation
 - / Allows for the accessible location of services equipment
 - / Allows for retention of and provision for new canopy trees where applicable
 - / Provides permeability to limit stormwater run-off, unless otherwise managed by stormwater systems

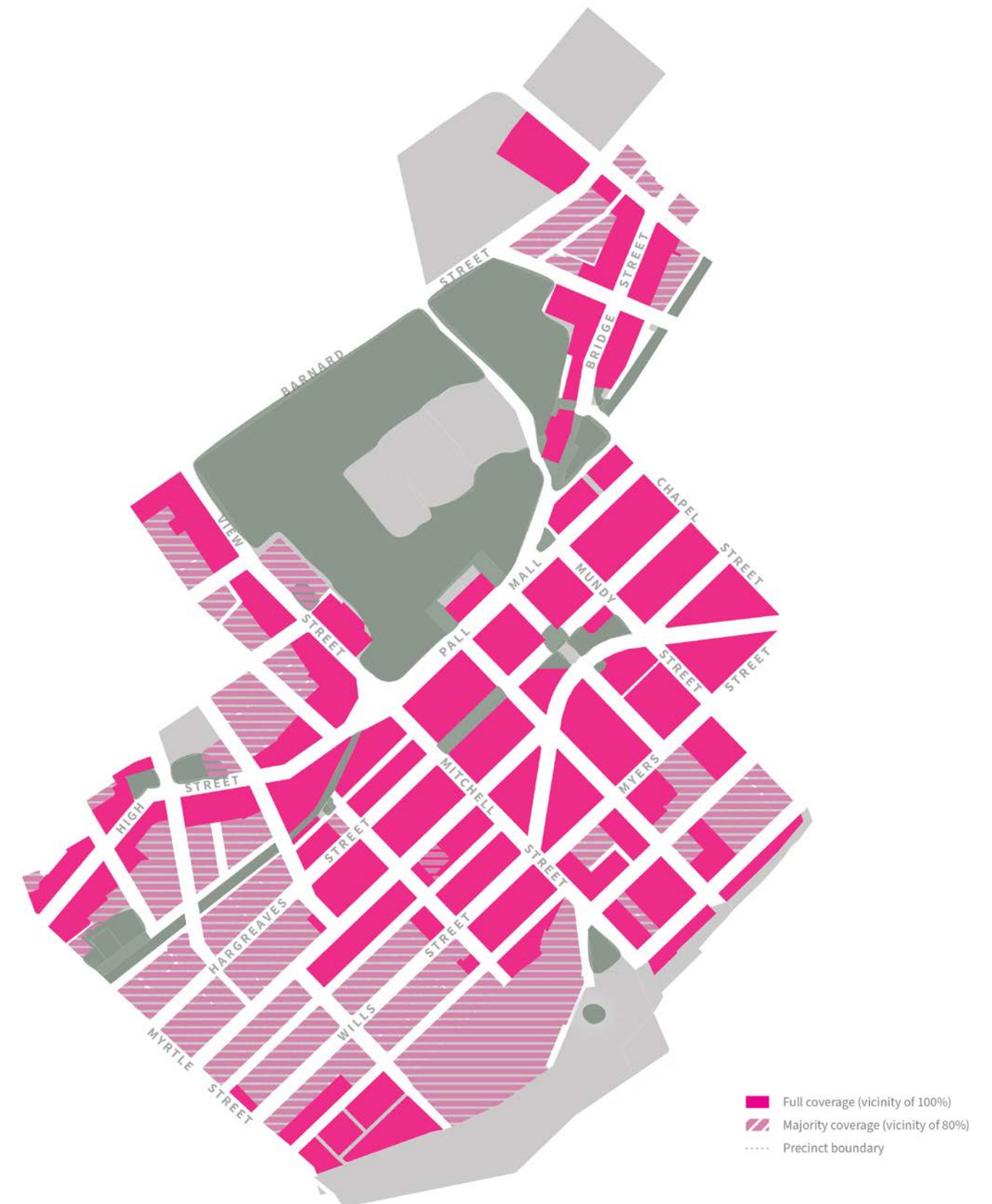


Figure 10 Preferred site cover across the City Centre

BUILT FORM STRATEGIC SITES

A range of sites have been identified which would be suitable for larger scale buildings and multi-use infill developments, typically comprising retail premises at ground level and offices and/or residential use within the upper levels.

The sites highlighted are attractive for this type of development as they possess characteristics such as larger land size, a prominent location, multiple or wide frontages, connection to laneways and limited surrounding heritage control / contamination sensitivities (see Figure 11).

Given the prominence of many of the highlighted locations - good design matters. It is anticipated that development outcomes on these sites will be larger in scale and therefore must respect the current urban form of the City and establish a clear relationship between the appearance of new development and the valued characteristics of its context.

Other strategic sites within the City Centre may be suitable for larger scale and multi-use redevelopment though have considerable constraints due to surrounding sensitive buildings / uses and also may require consolidation with adjoining lots to achieve a viable development land area.

The development of strategic sites should:

- As a first priority, be based on a design response to the most important and/or distinctive aspects of the site place and context
- In the case of larger sites, create a finer-grained pattern of lots and/or building facades (i.e. narrower rather than wide frontages), in keeping with the predominant urban form of the Bendigo City Centre (see Facades)
- Ensure any proposed consolidation of parcels does not result in loss of existing fine grain, nor loss of existing or potential through-block links (see Through-block Links)
- Achieve corresponding urban design objectives specified (e.g. the creation of a new through-block link)
- In the case of public ownership, optimise urban design outcomes and maximise net community benefit
- In the case of sites with a substantial and/or significant public domain interface (e.g. street corner, or frontage exceeding 50 metres), be coordinated with and contribute to improvements to the abutting public domain

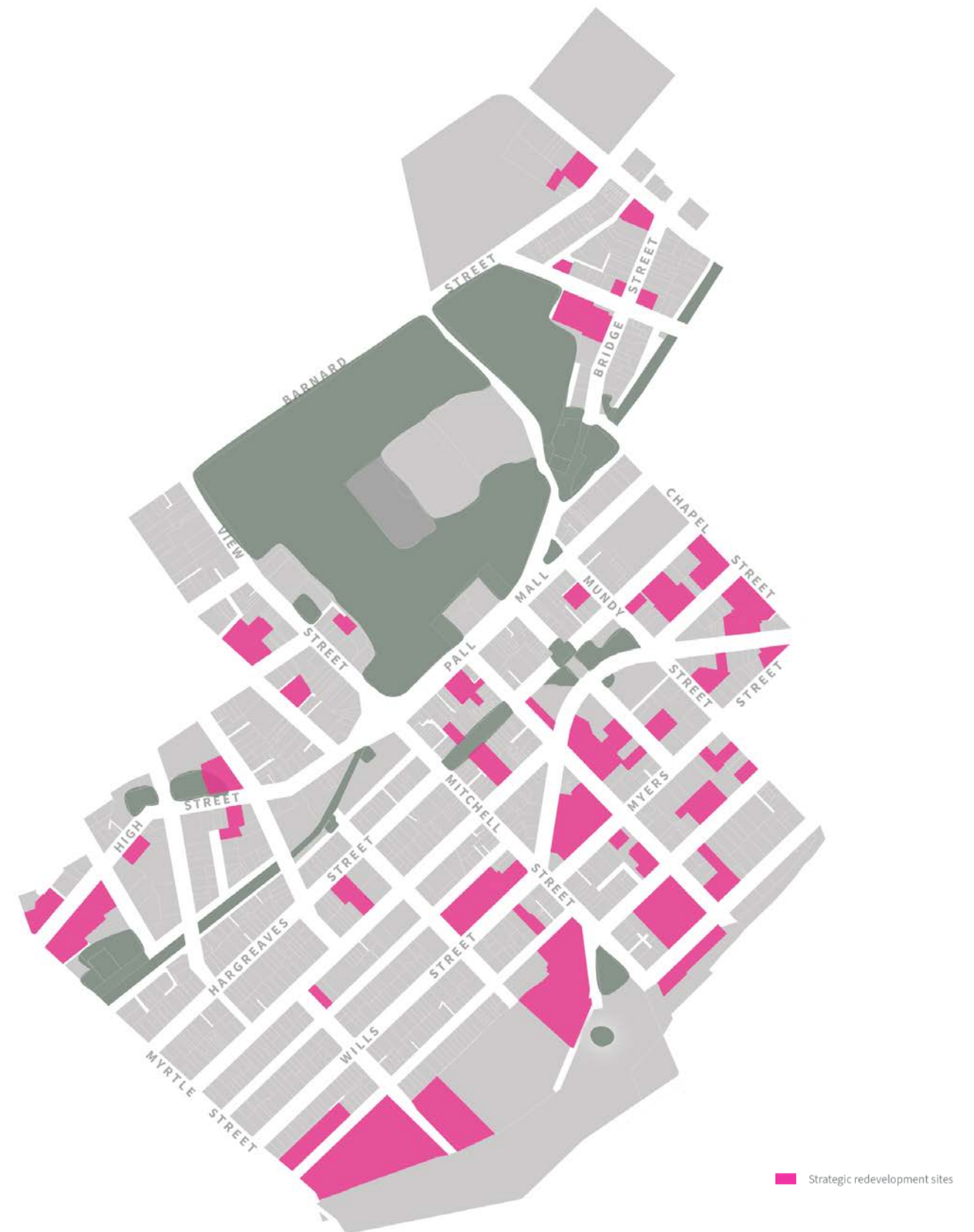


Figure 11 Identified strategic sites for multi-use redevelopment

BUILT FORM INTERFACES AND ACTIVATION

Ground/Street level activation

- Activate and animate buildings at ground level by (see Figure 12):
 - / Addressing and engaging with the street in a manner consistent with the use/s of the building and street character
 - / Pedestrian entrances that are identifiable and accessible from the street
 - / Creating a strong visual connection between building interiors and the public domain
 - / Enabling the opening up of building interiors to the street where appropriate (e.g. broad entranceways, folding doors/windows, service windows/hatches)
 - / Building facade design elements that support casual public use or gathering, such as stall riser ledges, sills and recessed benching
 - / Incorporating spaces for passive gathering (see Semi-Public Space)
 - / Providing visual relief, depth and articulation to building facades
 - / Use of high quality, tactile and visually interesting materials

- Reduce negative impacts on street activation by avoiding or minimising:
 - / Expansive, continuous lengths of glazing on larger frontages
 - / Blank walls or other finishes such as tinted, opaque or high reflectivity glass, which prevent visual connection between building interiors and the public domain
 - / Recesses, which should be designed as places that prevent concealment, entrapment, or litter collection and should not exceed a maximum depth of 0.5m. This requirement excludes publicly accessible areas (see Semi-Public Space)
 - / Highly visible service cabinets and areas, which should be concealed or otherwise should not exceed 30% of the ground level facade area and should make use of high quality materials and finishes
 - / Vehicle access and egress (see Driveways and crossovers, and, Car parking integration)

Activation above ground level

- Street interfaces to upper levels should (see Figure 12):
 - / Address and engage with the street in a manner consistent with the use/s of the building and street character
 - / Include opportunities for accessing the building exterior such as decks or balconies where appropriate

- / Enable informal surveillance of public areas with windows and balconies overlooking streets and nearby public open spaces
- / Incorporate greening and/or architectural or artistic treatments to facades

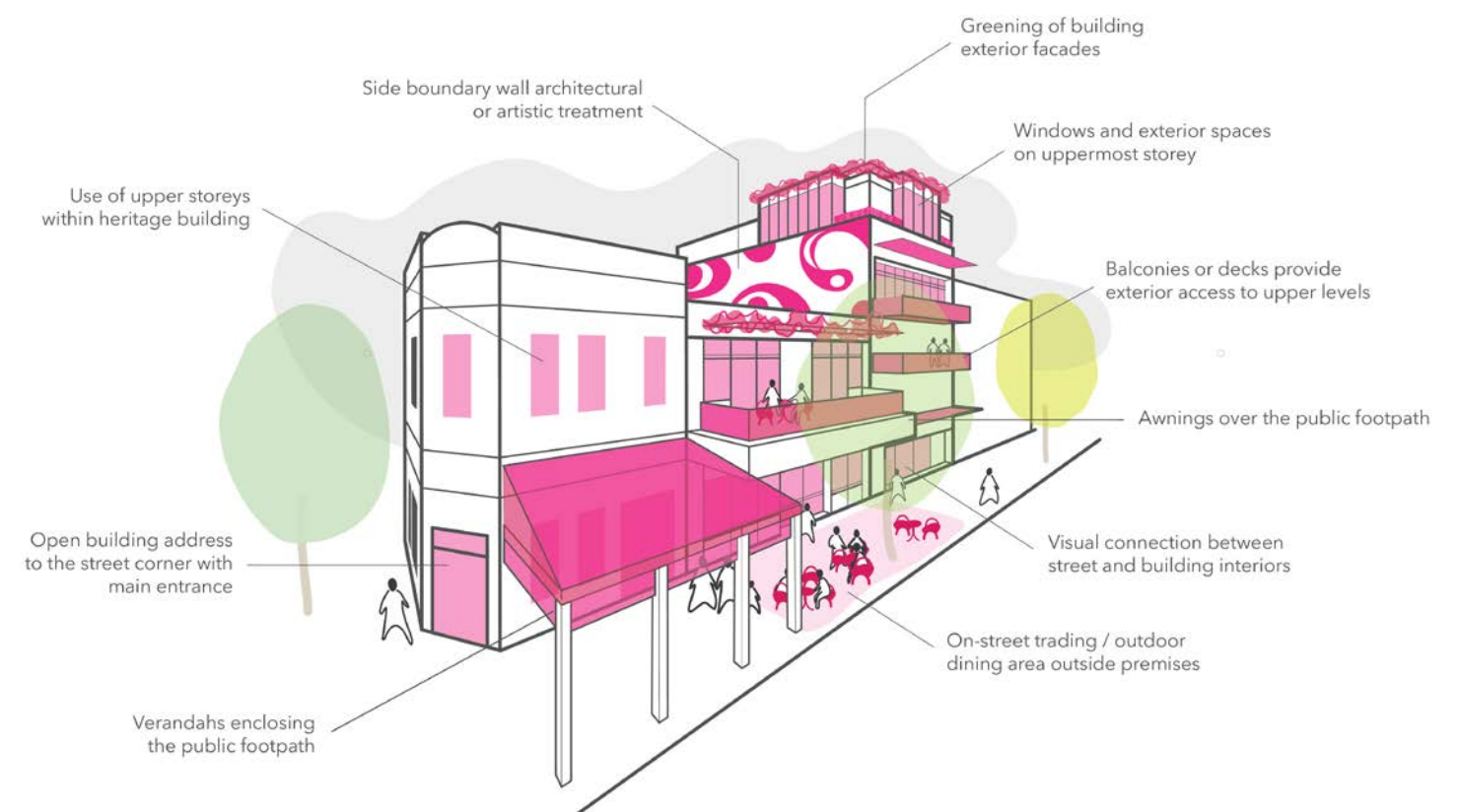


Figure 12 Examples of the activation of street-level and upper-level building interfaces relative to the public domain

BUILT FORM INTERFACES AND ACTIVATION

Weather protection and projections above ground level

- Provide permanent weather protection over public footpaths to all buildings built to the street edge within the 'commercial core' areas (refer Figure 13)
- Design weather protection to extend across the building frontage, including corners and returns, to appear integral to the form and function of the building, and to complement its architectural style
- Street verandahs should:
 - / Be supported by posts and provided with weatherproof covering
 - / Extend to the outside edge of the pedestrian footpath, to no further than 0.6 metre from the back of kerb
 - / Have a vertical clearance of at least 2.5 metres high at the street edge
- Reinstate traditional verandah forms on heritage buildings where evidence shows this was part of the building form and where the verandah form can be authentically replicated
- Awnings should:
 - / Project over at least half the width of the public footpath (measured from building line to back of kerb), or to a minimum width of 2.0 metres (whichever is greater)
 - / Be positioned between 3.5 metres and 5.0 metres above ground level
- Where appropriate, integrate elements that project above and over the public domain (footpath), within the following parameters:
 - / Any projection must be at least 5 metres above footpath level
 - / Projections must be intermittent and not extend the full width of building façade
 - / Projections must be positioned to avoid disruption to the healthy growth of existing or proposed street trees
 - / The depth of a projection should not exceed 0.9 metres, excepting decks or balconies at first floor level in commercial streets, which may extend to 0.6 metres of back of kerb
 - / Decks or balconies must not be enclosed or habitable spaces
- Ensure that potential public safety risks and liabilities related to weather protection structures and upper level projections within the public domain are appropriately addressed as part of approvals processes
- Ensure that design aims to achieve passive surveillance of public areas and to an appropriate degree of privacy for building users/occupants (e.g. private open space) is suitably balanced

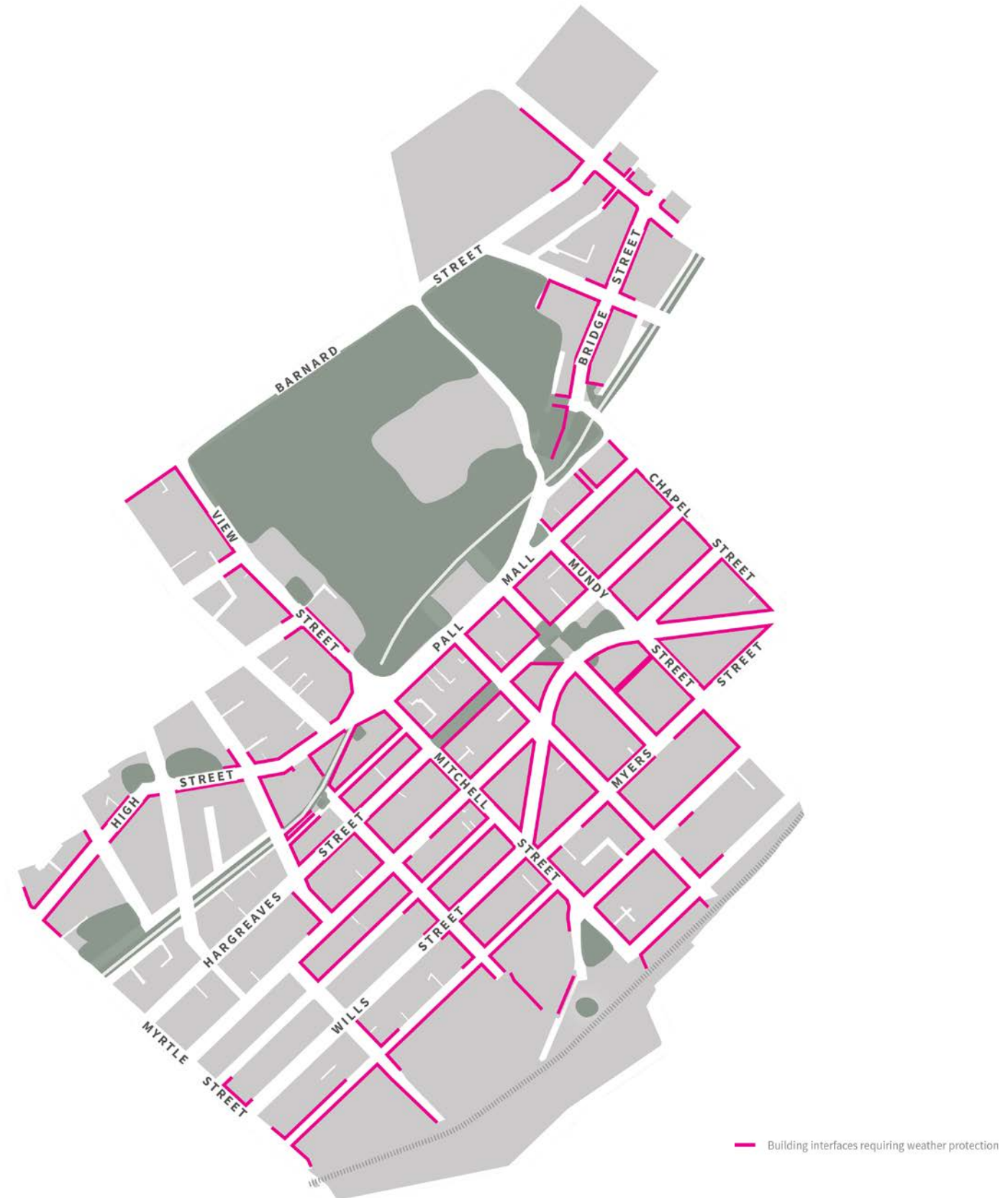


Figure 13 Weather protection priority zone

BUILT FORM INTERFACES AND ACTIVATION

Internal open space

- Link and integrate internal common areas associated with new development with the adjoining public domain of the City Centre wherever this will not undermine the private use and security of these spaces
- Create a visual connection between internal common areas at ground floor level with the public domain, where appropriate

Semi-public space

- Integrate semi-public areas on the street edge at ground-level (see Figure 14). This is a required outcome for public/civic buildings and a preferred outcome for private developments, subject to the suitability of location, use/s development density and available site frontage
- Subject to meeting the following requirements, these areas will be exempt from the zero setback requirement (see Front Setbacks) and will be accepted as the required
- Semi-public areas should:
 - / Be suitably sized to support public use and gathering
 - / Be addressed by active uses and an activated building interface design (see Ground/Street Level Activation)
 - / Incorporate amenities for public use (e.g. fixed street furniture, soft landscaping and lighting)

- / Be open to the sky, and where partly covered by a building projection, have at least two storeys of clear height
- / Not exceed 50 per cent of the street elevation frontage width
- / Be wider than deep in proportion
- / Be directly visible from the street and directly accessible by people of all ages and abilities
- / Have at least four hours of sunlight access during the late morning and/or afternoon, measured at the time of the Spring Equinox (22 September)

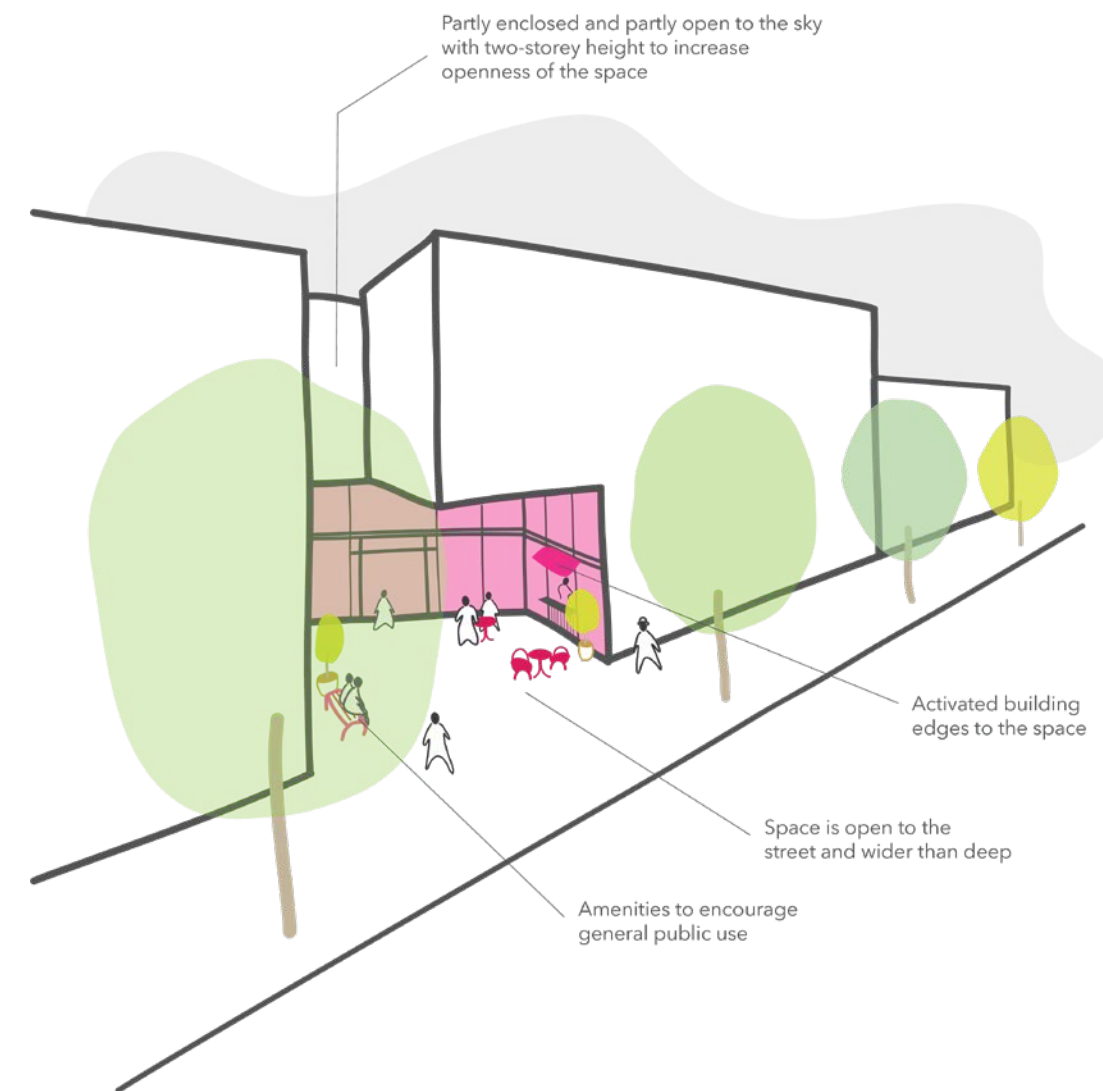


Figure 14 A publicly accessible, activated plaza-like space open to the street edge

BUILT FORM ARCHITECTURE AND DESIGN QUALITY

Facades

- Compose building facades to reflect the historic, fine-grained lot pattern and traditional ‘taller-than wide’ building proportions of central Bendigo. For development spanning a wide lot, or more than one lot, compose façade elements to establish a variable rhythm and to complement the established facade rhythm of the street (see Figure 15)
- Incorporate articulated built form and/or architectural detailing to break up the façade and, where appropriate, to reflect a rhythm of ‘taller-than-wide’ building proportions
- In areas designated for a zero front setback, avoid creating space between building facades that is perceptible from the street, unless this is integral to an appropriate design response (e.g. to create a through-block link, to create separation from a heritage place, to create upper level side setbacks for amenity)
- Incorporate contemporary interpretation of well-established ‘Bendigo style’ architectural features, without imitating heritage styles
- For sites with a significant heritage place/sx, reference and adapt distinctive architectural features through contemporary expression, including:
 - / The rhythm and proportions of facade elements
 - / Colour, texture and materials

Roofs

- Complete the building form with an appropriate roof form which completes the building silhouette against the sky, contributes to the urban roofscape and continues traditional built form practice
- Maximise opportunities for natural light access to and ventilation of upper levels
- Allow for integration of space for roof-top use and activity
- Set back rooftop plant, equipment and services from building edges so as to be visually recessive and provide screening or design integration with building architecture
- Incorporate and integrate renewable energy collecting systems

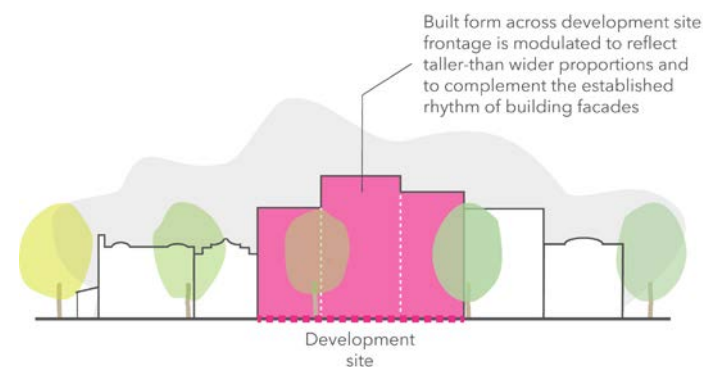


Figure 15 Composition of building facades to maintain fine-grained built form character in streetscapes

Boundary walls

- Design upper level walls on boundaries as an integrated and fully resolved component of the building design, regardless of the prospect of development of abutting sites and potential concealment of upper levels walls
- For sites where abutting development is less likely, such as next to a heritage place, consider the potential to incorporate facing windows and modelling of the façade, as well as other architectural detailing. Blank walls in these situations are not acceptable
- For sites where abutting development is likely, provide a positive and contextually-responsive facades design (e.g. use of texture, materials combinations, relief or other architectural detailing)

Protection of future amenity

- Provide for equitable development outcomes with siting and built form design that considers and responds to the development opportunities of neighbouring properties

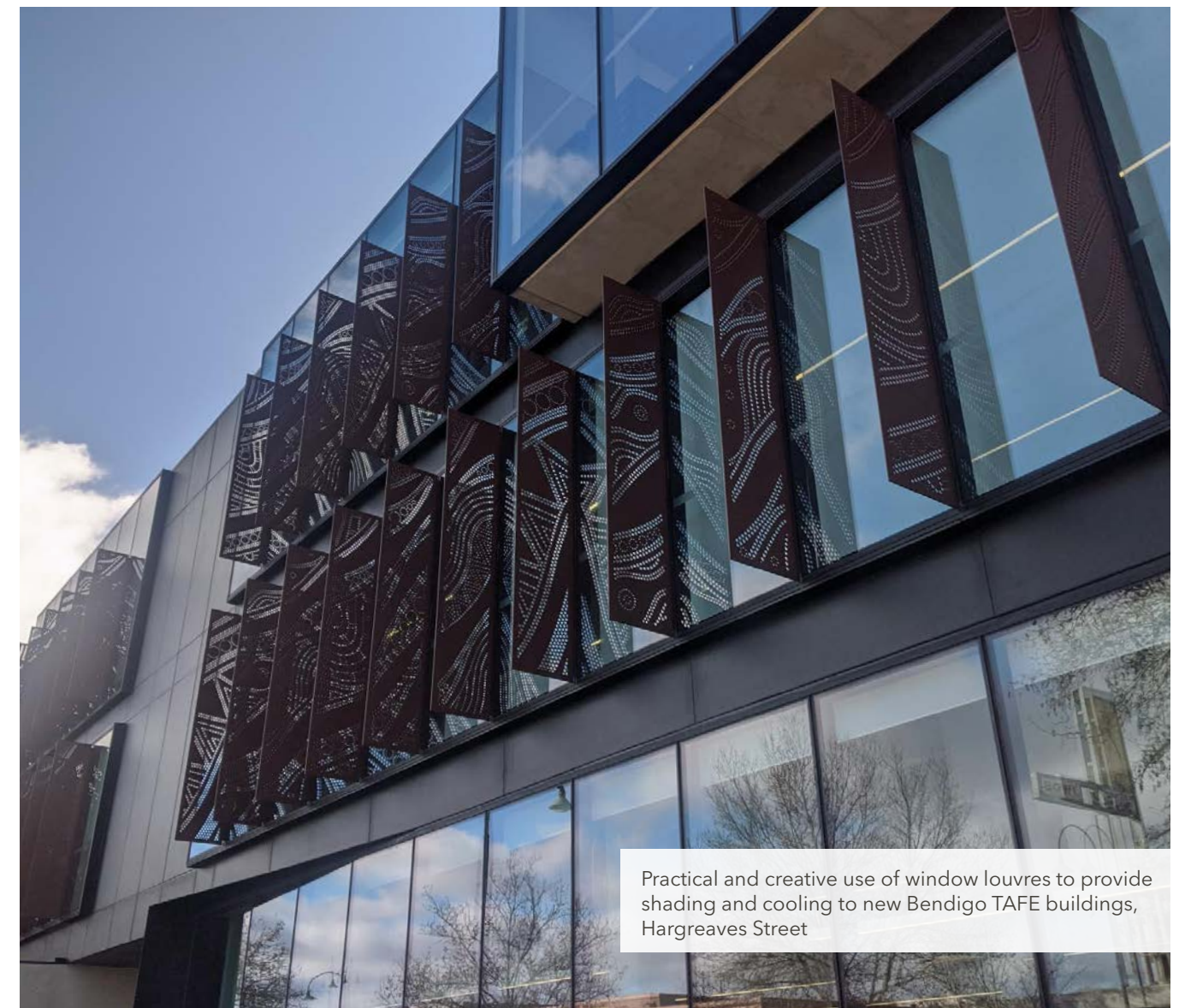
Culturally-responsive design

- Consider how built form, architecture or embellishments might reflect, represent and increase awareness of the cultural layers of Bendigo, including Dja Dja Wurrung Traditional Owners and the more recent history of Chinese and European migration
- Ensure that the incorporation of indigenous design or artwork elements is undertaken in consultation with Traditional Owners

BUILT FORM ARCHITECTURE AND DESIGN QUALITY

Environmentally sustainable design

- Climate management
 - / Incorporate sun control, particularly on north and western facades
 - / Preference the use of sun control devices such as canopies, louvres and eaves which add visual interest to the building, and contribute the visual quality of 'shade and filtered light'
 - / Allow low angle sun to penetrate building interiors (as appropriate for the use) and exclude excessive heat gains
 - / Minimise unshaded windows relying on thermal glass and limit to facades with lower sun exposure
 - / Avoid dark-coloured roofing materials and minimise dark-coloured exterior finishes
- Green walls and roofs
 - / Integrate landscape plantings with building structures to help regulate building climate, create functional spaces, contribute to urban biodiversity and enhance the aesthetic of urban structures
 - / Provide supporting infrastructure and conditions to sustain green walls and roofs, including automated irrigation, growing medium, geotextiles and drainage
- Transport and access:
 - / Incorporate safe, prominent and comfortable site and building access for pedestrians as a priority
 - / Design access areas for vehicles (e.g. driveways, turnaround areas) for shared use wherever practical
 - / Provide for end of trip facilities
- Manage and minimise waste:
 - / Prioritise the reuse, adaptation and extension of existing structures wherever practical
 - / Incorporate facilities for waste management and resource recovery
- Urban ecology:
 - / Provide landscaping of private and semi-public spaces, and of other exterior areas that supports biodiversity, wildlife habitat and urban agriculture
 - / Retain and incorporate significant trees



Practical and creative use of window louvres to provide shading and cooling to new Bendigo TAFE buildings, Hargreaves Street

BUILT FORM ARCHITECTURE AND DESIGN QUALITY

Materials and finishes

- Select and combine materials to add visual interest to building surfaces, particularly at ground level
- Preference the use of robust materials that do not necessarily need further surface treatments and the appropriate use of materials for the intended application
- Create architectural cohesion by using a principal material that is contextually appropriate
- Within the Heritage Overlay, incorporate visual delineation of new development through complementary material selections
- Consider the potential to add a vibrant visual appearance of the City Centre by making thoughtful and well-integrated use of bold colour
- Use clear or translucent materials for main building entrances for high visibility and viewlines
- Avoid use of highly-reflective materials and finishes



Vibrant colour is a feature of old and new buildings at Charing Cross which helps to enliven and animate the central city

BUILT FORM AMENITY

Viewlines

Recognise and respond to the intrinsic importance of viewlines to the urban character, aesthetic quality, public experience and identity of the Bendigo City Centre

Coordinate building height, massing, street walls and streetscape design to respect, preserve and enhance viewlines of (see also Figure 16):

- Significant heritage places including the Bendigo Town Hall, Sacred Heart Cathedral, St Paul's Cathedral, St Andrew's Church and the Webb and Co building
- Significant and high-profile public streetscapes (e.g. Pall Mall, View Street, Charing Cross)
- Significant public space landscapes (e.g. Rosalind Park from several main vantage points including Charing Cross, Pall Mall and Rowan Street

Encourage high quality building architecture in prominent locations such as street corners and sites that terminate vistas to create new public viewlines of interest and importance



Figure 16 Significant viewlines to be preserved and enhanced

BUILT FORM AMENITY

Shading of public space

The Bendigo City Centre is characterised by a prevailing hot and dry climate with Summer sun that can be particularly intense (acknowledging that Winter months can be cold due to the inland location). These conditions tend to favour a higher level of public space shading, especially in Summer and also, though to a lesser degree, in Spring and Autumn. A number of historic urban and built form characteristics assist in mitigating Bendigo's climate and help to balance the benefits and impacts of contemporary development:

- The unconventional orientation of the street grid, at approximately 46 degrees (rather than more conventional north-south/east-west orientation), which better balances shading and sun access to streets throughout the year
- Wide public road reserves (typically 30m) relative to typical building heights (up to around 20m) that can more readily accommodate and moderate shading impacts
- Historic built form with substantial verandahs covering public footpaths (noting the strategic intent to expand weather protection cover as part of new development and by encouraging heritage restorations)
- Public open spaces that are located and/or of sufficiently large size to minimise, or at worst moderate, the potential impact of overshadowing by development

Due to these important and influential factors, the application of controls to further manage the shading of public space generally is not proposed. Where this is any exception, design guidance is included in the relevant Precinct (see Section 5).



Rosalind Park is the City Centre's largest and most important public open space. The size of the parkland, combined with limited areas of direct building abuttal, enables extensive sunlight access, though this itself is moderated by numerous large canopy trees.

ACCESS PEDESTRIANS

Universal access

- Locate main entrances to buildings on the primary street address and make clearly visible from public footpaths in the street
- Integrate universal access as part of the design of the primary building entrance/s and continue universal access design throughout the development site and associated buildings
- Avoid the use of platform lifts

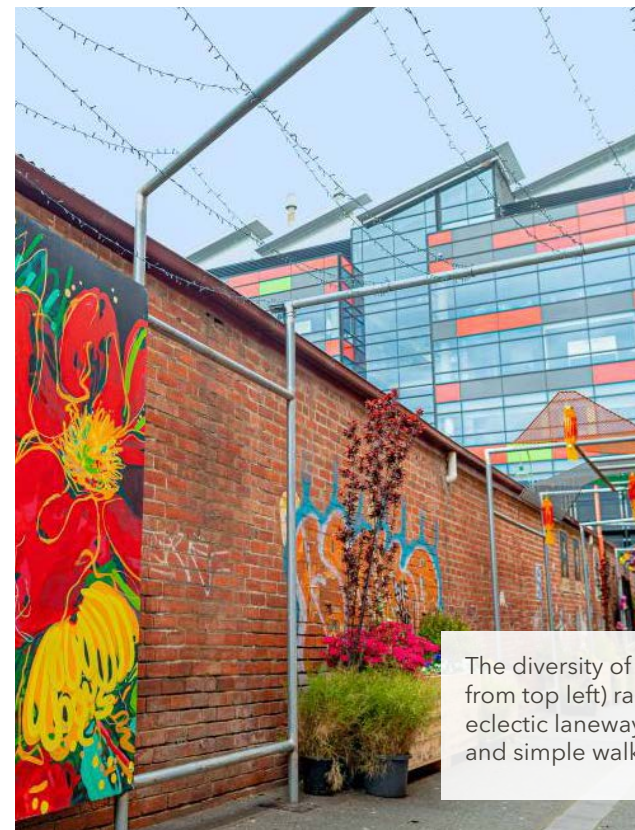
Through-block links

- Retain and enhance existing public and semi-public links and ensure they are not lost to redevelopment
- Create new through-block connections in recommended locations as part of new development (refer to Section 5 Precincts)
- Provide new connections as an enclosed arcade or open/semi-enclosed laneway that is publicly-accessible and pedestrian-only, excepting situations where vehicle access is required
- Enclosed arcades should be:
 - / Fully or partly enclosed within the building
 - / Taller than wide in proportion
 - / Activated at ground and mezzanine/first floor levels (as applicable)
- Laneways should be:
 - / Open to the sky or semi-enclosed (e.g. by awnings)

- / Activated at ground and mezzanine/first floor levels (as applicable)
- Provide a minimum through-block width of 3 metres for activated, pedestrian-only links to provide space for outdoor trading and a clear path for universal access. Provide a minimum width of 5 metres for links required to accommodate vehicle access
- Pedestrian priority zones should be maintained where vehicle access is required (e.g. for rear parking access, for service or emergency vehicles) and a 'shared zone' approach may be required where width is limited
- Consider articulating the form of through-block links to provide additional tenancy frontages and/or to incorporate more flexible and higher amenity public/common areas
- Maintain clear lines of sight between laneway ends wherever possible
- Provide visible access and egress points from the street, and gateways where necessary to manage public access and the security of commercial premise outside of operating hours

Internal pedestrian streets

- Support the incorporation of 'pedestrian streets' (which may also form part of identified through-block links) through larger building structures/complexes, and especially in association with public/institutional buildings, as a means of linking surrounding public streets and spaces



The diversity of through-block links across Bendigo City Centre (clockwise from top left) ranges from shop-lined, enclosed arcades (Kilians Walk) and eclectic laneways (Chancery Lane), to lanes with vehicle access (Bath Lane) and simple walk-through connections (Pennyweight Walk)



ACCESS VEHICLES

Driveways and crossovers

- Avoid new private vehicle access points, via crossovers of main pedestrian thoroughfares, to on-site parking or for loading/servicing so as to minimise conflict with pedestrians and other vehicles
- Use side streets and internal laneways, both existing and proposed, to provide more efficient, consolidated accessing adjoining development sites
- Private vehicle access across an adjoining public space will not be permitted
- Locate and design driveways and crossovers to prevent loss of, or impacts on the health of, trees within the public domain

Car parking integration

- Ensure that the approach to parking provision reflects the principles and approach of the *Bendigo City Centre Parking Futures Action Plan 2020*
- Car parking structures located above ground (i.e. other than basement parking) should be located on the first floor level or above, and should be visually recessive within the building facade (see Figure 16)
- Car parking entrances at ground level should (see also Figure 17):
 - / Be located discretely within the facade (e.g. at or near the edge of the building)
 - / Should not exceed 6 metres in width
 - / Should be integrated with the design and materials of the public domain (e.g. maintain footpath pavement continuity)
 - / Be avoided on small sites to prevent a disproportionate impact on the street address and public domain
- The design of car parking structures should enable future repurposing (e.g. for commercial or residential use)
- On-site surface parking requirements should be provided at the rear of a development site and not within front or side setbacks

Loading and services

- Provide access for service and emergency vehicles via public streets and laneways
- Locate loading areas within the title boundary of the site development and to minimise impacts on public streets and spaces
- Conceal waste storage areas within the title boundary of the site development
- Design service access doors as integral building elements that are safely accessible from the street or laneway and set no deeper than 0.5m from the street edge

End of trip facilities

- Amenities to support walking, cycling and public transport journeys should be provided in safe, accessible and undercover locations at street-level

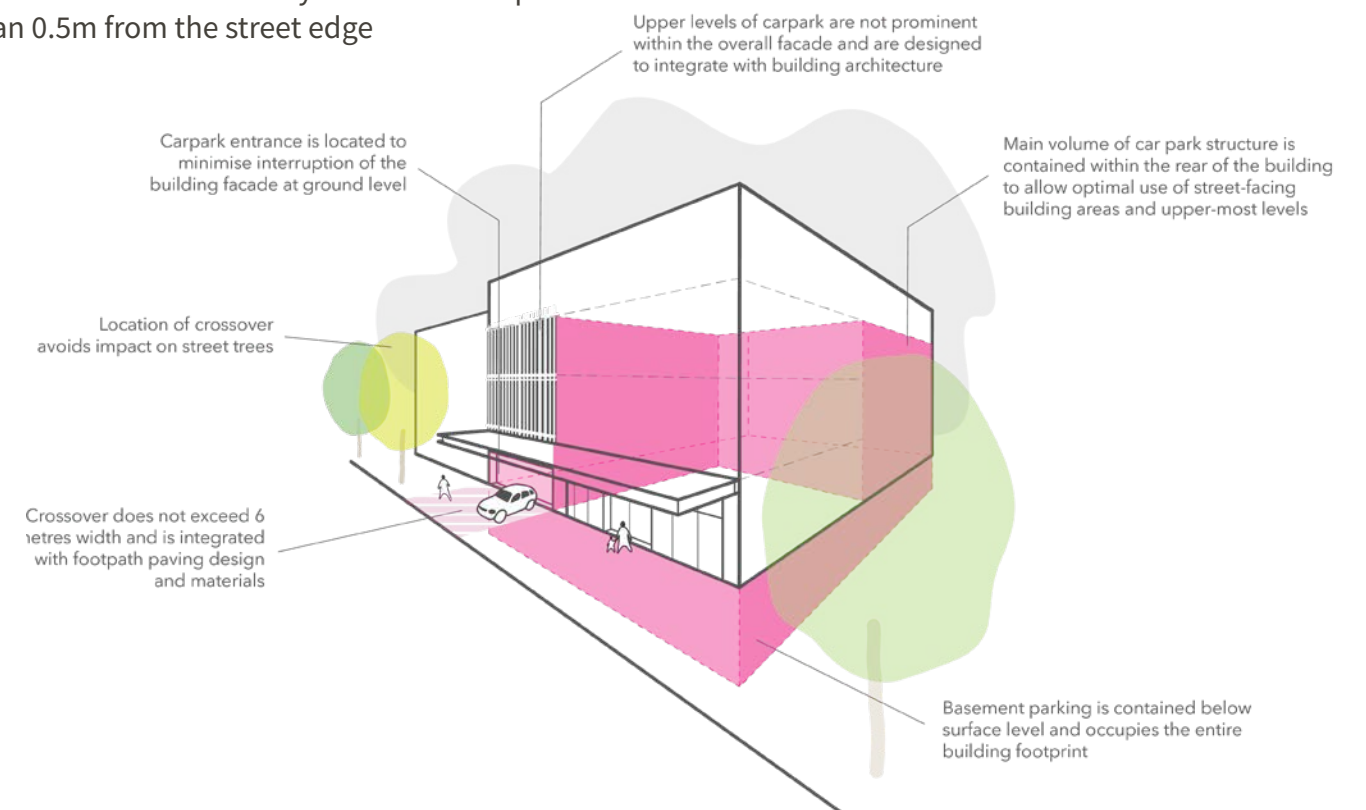


Figure 17 Integration of car parking structures with built form and the public domain

THIS PAGE LEFT INTENTIONALLY BLANK

5 PRECINCT DESIGN DIRECTIONS

The Bendigo City Centre Plan identifies nine precincts, each with particular land use and character attributes, and urban design challenges and opportunities.

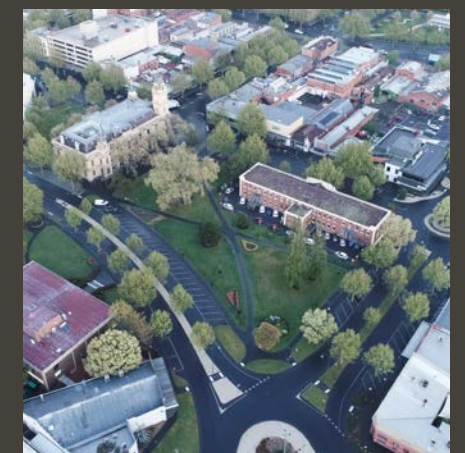
All precincts share some common centre-wide challenges: protection of heritage places, under-utilised land as open car parks, lower to poor quality building stock (age, siting and site yield), streets lacking activation and amenity, and most importantly, the management of contemporary development and change.

Each precinct also has special characteristics and issues that require specific consideration and response.

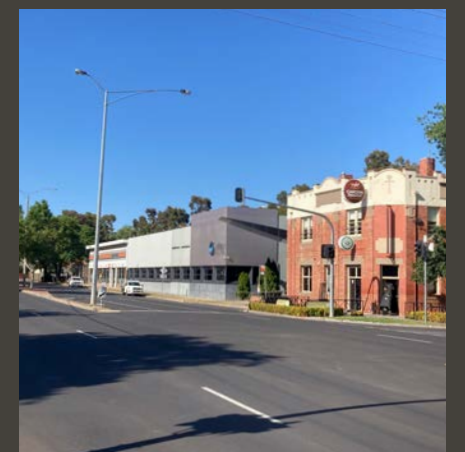
In all precincts there is a need to manage increases in permanent and visitor population, employment and business opportunities, development density and overall activity.



P1 PRECINCT 1
RETAIL CORE



P2 PRECINCT 2
PERIPHERAL RETAIL AND
COMMERCIAL



P6 PRECINCT 6
BRIDGE STREET AND
HOSPITAL



P3 PRECINCT 3
PREMIUM RESIDENTIAL



P4 PRECINCT 4
BENDIGO STATION,
MARKETPLACE AND
FORMER FACTORY SITES



P5 PRECINCT 5
CIVIC AND COMMERCIAL
MIXED USE



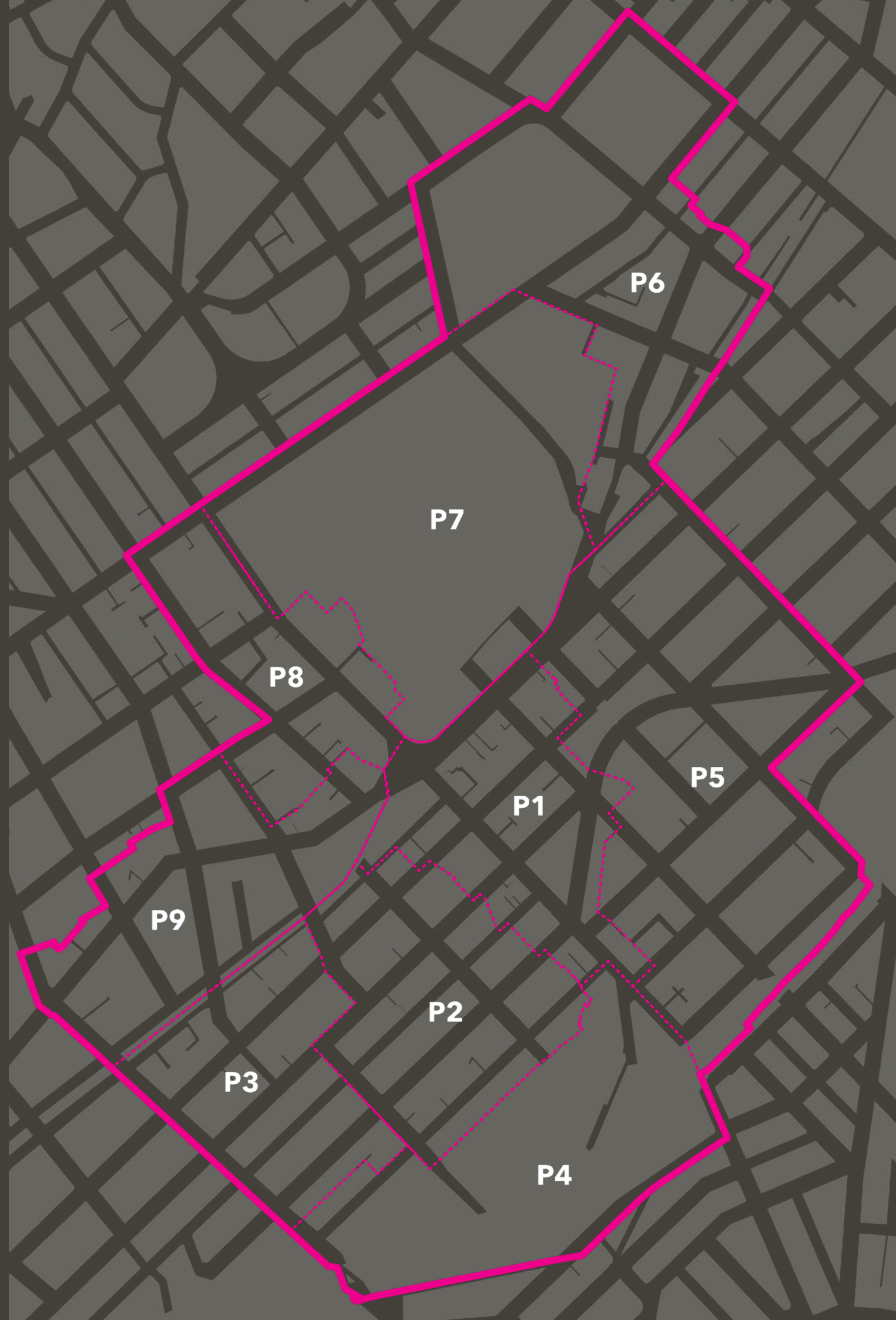
P7 PRECINCT 7
ROSALIND PARK



P8 PRECINCT 8
VIEW STREET



P9 PRECINCT 9
HIGH STREET



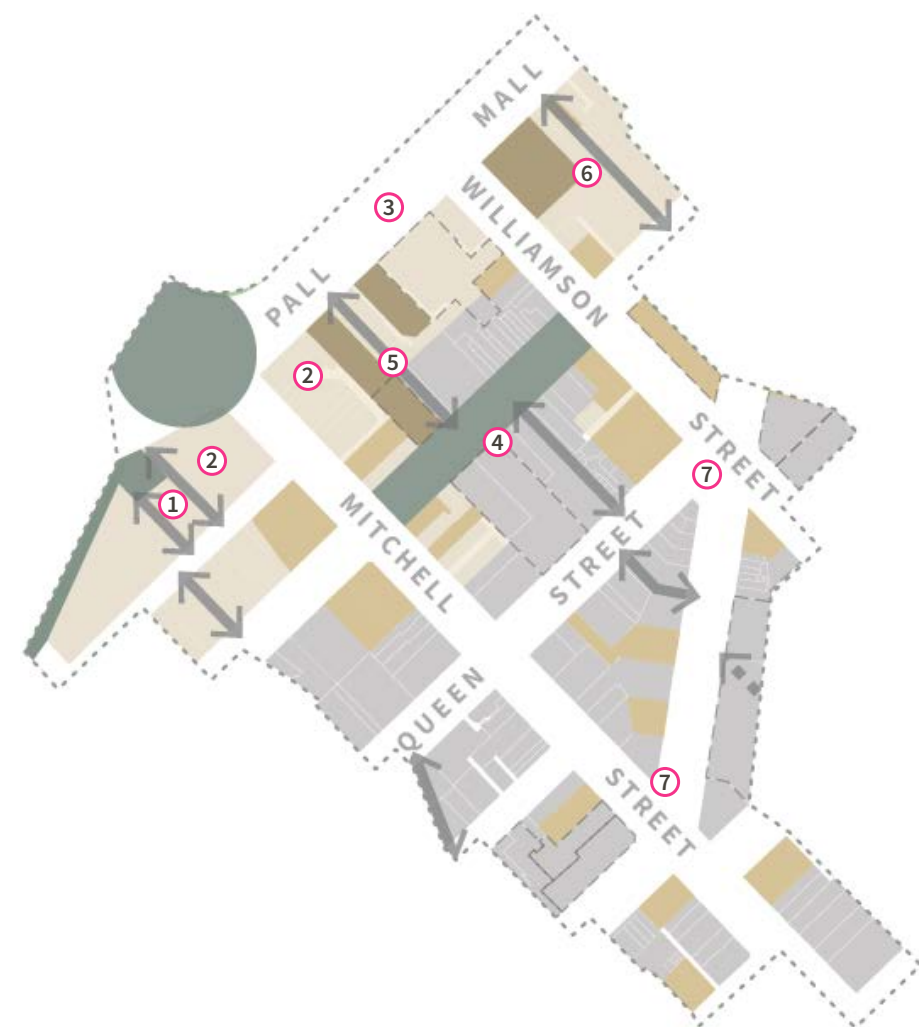
PRECINCT 1 RETAIL CORE

Precinct vision

The heart of Bendigo's City Centre, anchored by the heritage splendour of Pall Mall and linked to the Bendigo Railway Station by the retail promenades of Mitchell Street and Williamson Street/Lyttleton Terrace. A vibrant mix of retail, hospitality and entertainment at street level, complemented by commercial and residential use of upper floors. Development density maximises the potential of the central city location.

Precinct guidelines

Preferred maximum building height



- ① Acknowledge the established scale and landmark presence of the Bendigo Bank, and its central, high-profile location, with an increased preferred maximum building height (up to 36m). Maintain provision of established walkways and civic space in association with any future redevelopment/expansion
- ② Support the development of exemplary contemporary buildings up to 20m that address and frame Charing Cross, contribute to its character as the primary place of arrival to the City Centre and enhance its longer term potential as a major civic square
- ③ Protect the heritage values of the Pall Mall and Charing Cross built form and public domain, and enhance these values with well-scaled, well-proportioned and respectful contemporary building design
- ④ Redevelop the low-rise sites flanking Hargreaves Mall to provide increased density for inner city living and potential customers/users for ground floor businesses. The height and form of new development, especially on the north-west side of the Mall, is to be managed to ensure that the public space is not extensively overshadowed and that wind effects are mitigated. The Mall should receive at least four hours of sunlight access during the late morning and/or afternoon, measured at the time of the Spring Equinox (22 September)
- ⑤ Preserve and expand the network of through-block pedestrian links to open up opportunities for additional frontage for commercial premises, for pedestrian movement and for activation of the Retail Core
- ⑥ For the majority of Retail Core Street blocks, incrementally increase development density with capacity for building additions up to 20m, recognising that the capacity for development is practically limited by factors such as fragmented, small-scale lots and varying predominance of heritage places
- ⑦ Support the development of exemplary, contemporary buildings addressing prominent corners at major intersections, including:
 - Lyttleton Terrace with Williamson and Queen Streets
 - Mitchell Street with Wills/Myers Street

- 36m (9-10 storeys)
- 24m (6-7 storeys)
- 20m (5-6 storeys)
- 16m (4-5 storeys)
- 14m (3-4 storeys)
- 12m (3 commercial storeys)
- 11m (3 residential storeys)
- Exclusions (public open space, Hospital Campus, Sacred Heart Cathedral)
- Precinct boundary



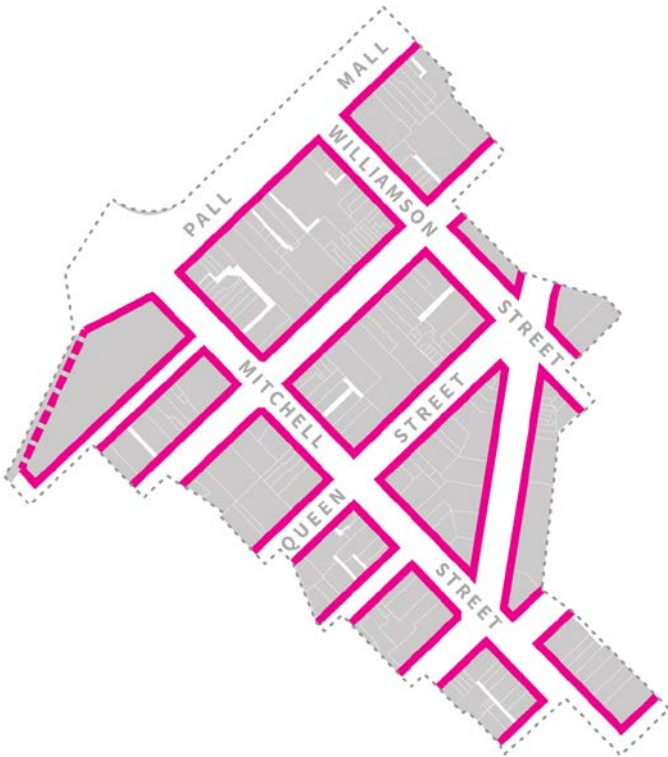
Precinct guidelines

- Heritage sensitivity (VHR listed)
- Heritage sensitivity (individual significance)
- Heritage sensitivity (precinct)
- Street blocks and parcels
- Strategic redevelopment sites
- Parkland
- Civic space
- Through-block pedestrian links (existing / proposed)
- Precinct boundary



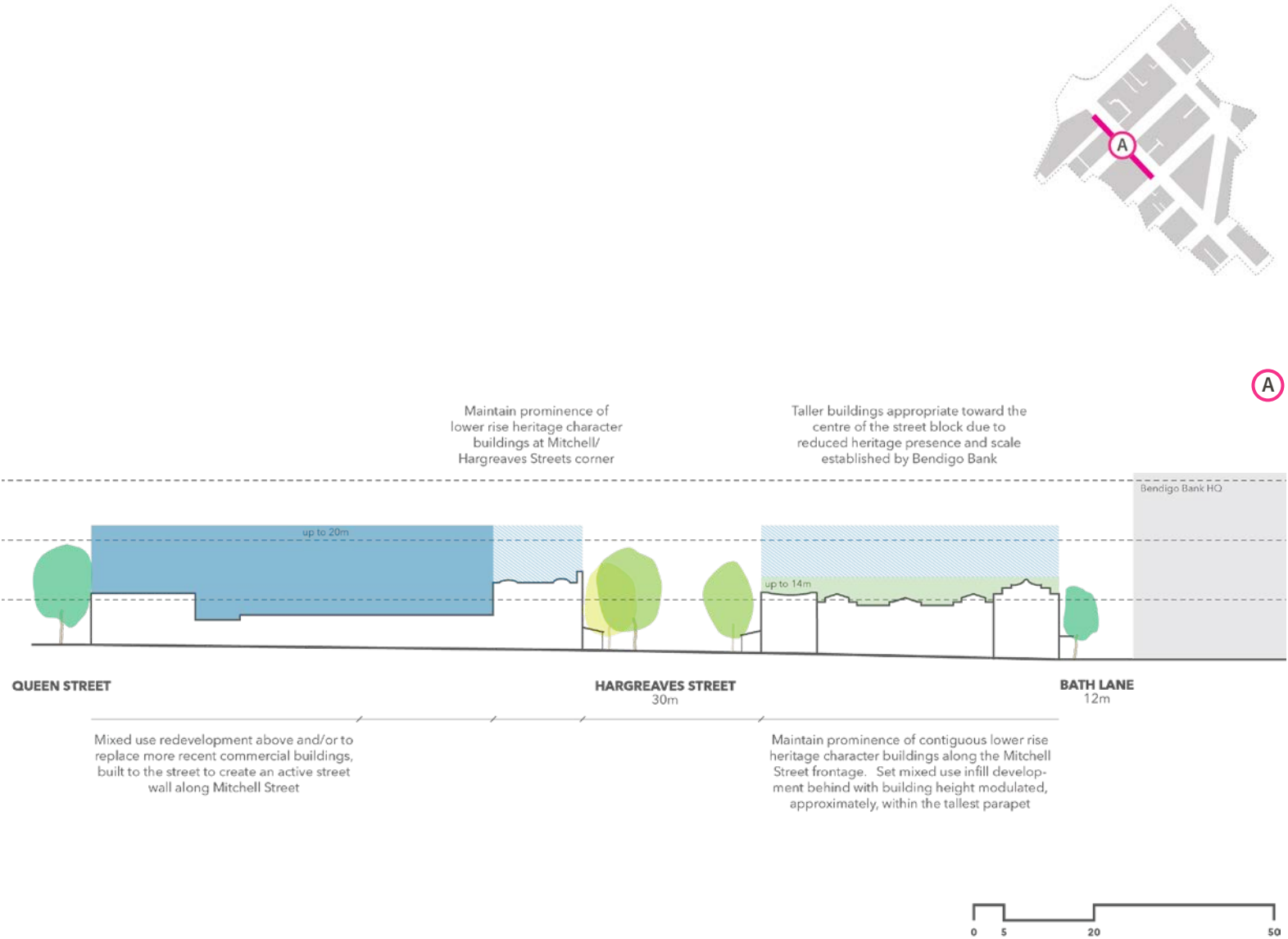
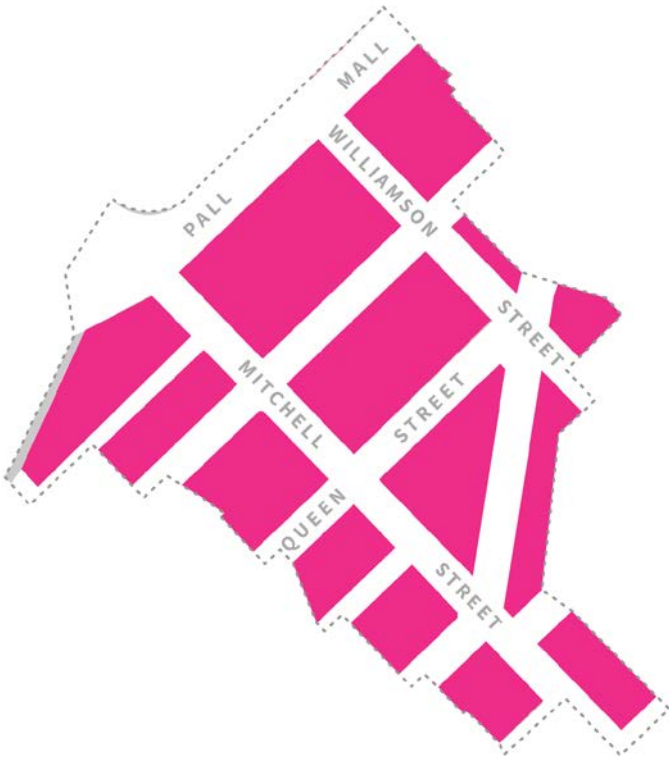
Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary



Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



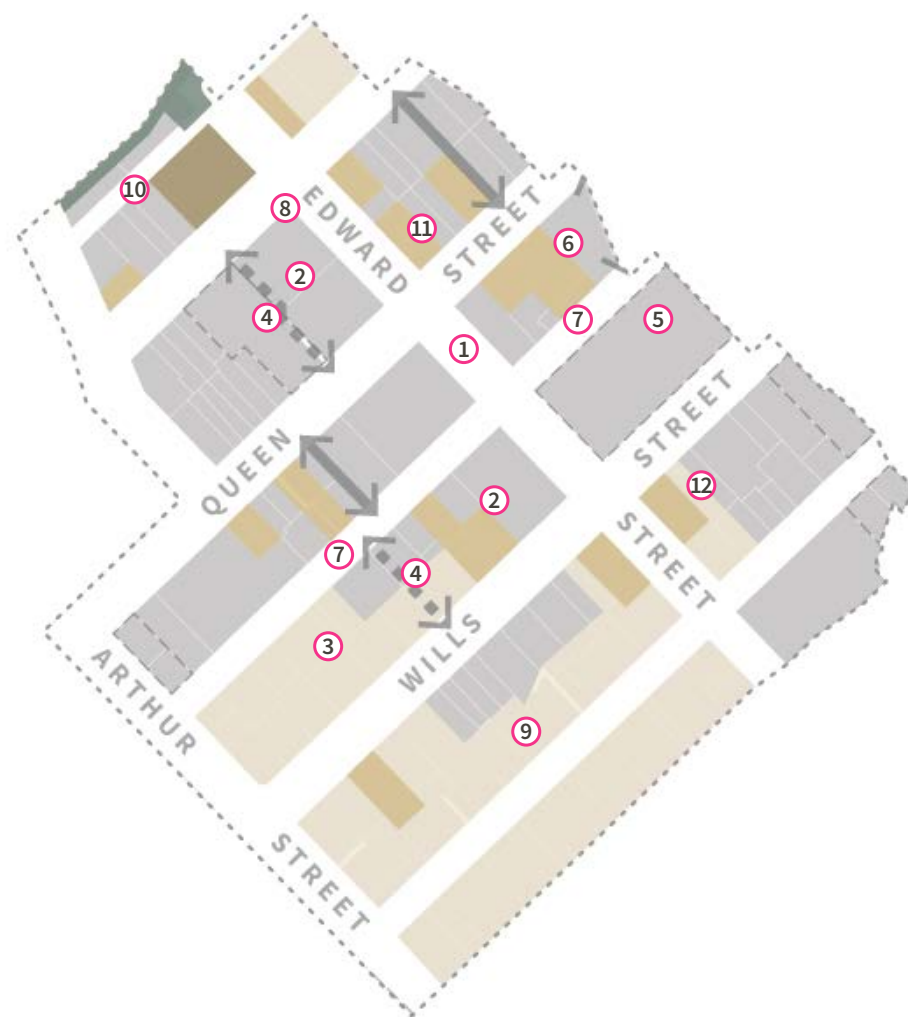
PRECINCT 2 PERIPHERAL RETAIL AND COMMERCIAL

Precinct vision

A diverse commercial spine along Edward Street linking the Bendigo Creek with Bendigo Marketplace and connected into the adjoining Retail Core. A neighbourhood of smaller-scale residential infill developments south of Edward Street and professional services located along the Wills Street entranceway.

Precinct guidelines

Preferred maximum building height



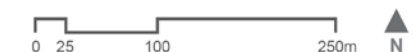
Precinct guidelines

- Heritage sensitivity (VHR listed)
- Heritage sensitivity (individual significance)
- Heritage sensitivity (precinct)
- Street blocks and parcels
- Strategic redevelopment sites
- Parkland
- Civic space
- Through-block pedestrian links (existing / proposed)
- Precinct boundary



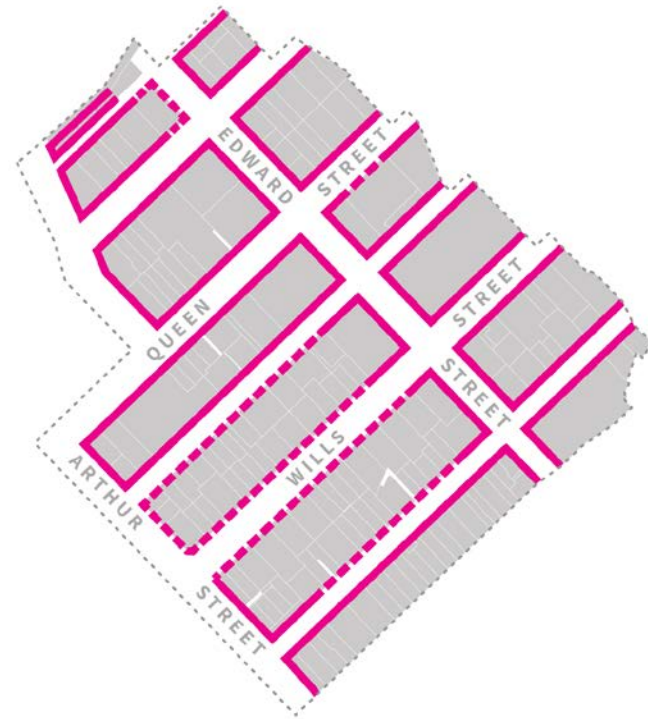
- ① Maintain capacity for retail concentrated on the Edward Street spine and on connecting streets
- ② Capitalise on the potential of larger sites along the south side of Edward Street that are unconstrained by heritage values with larger scale development form (up to 20m) modelled to activate the Edward Street edge and street corners and to appropriately transition in scale approaching adjoining lower-rise (14m) mixed use and residential sites
- ③ Encourage a mixed use transition south of Edward Street with smaller-scale infill development supporting a combination of professional services and residential accommodation
- ④ Create new through-block pedestrian links as part of development to increase permeability of long, unbroken street blocks south of Edward Street
- ⑤ Encourage mixed use development toward the northern end of the precinct, along and approaching Mitchell Street, to capitalise on the potential for heights up to 20m and the presence of several strategic sites
- ⑥ Acknowledge the presence and scale of Hunter House, a prominent heritage place and landmark, with adjoining development that is compatible in scale (up to 14m). Support a transition to taller buildings (up to 20m) north of the laneway linking King and Queen Streets
- ⑦ Increase activation of inner King Street (generally east of Edward Street) with retail, hospitality and other appropriate uses. For outer King Street, prioritise higher density residential infill development to optimise the quieter location on a lower order street and transitioning to the wider residential area of Precinct 3
- ⑧ Leverage the public ownership of the Hargreaves Street site to progress a co-development with integrated public domain improvements along part of Edward Street linking to a new public space on Bath Lane / Bendigo Creek to create a high quality public space focus for this part of the City Centre
- ⑨ Maintain a relative low-rise (up to 14m), fine-grained mixed-use streetscape for Garsed Street, south of Edward Street, and preserve the established residential heritage character with complementary mixed-use infill development
- ⑩ Enable higher intensity development (up to 14m) on compact sites with active development interfaces to Bath Lane and to the Bendigo Creek
- ⑪ Acknowledge the presence and scale of the heritage place (Brewhouse) with appropriately-scaled building height (up to 14m). The Pennyweight Walk through-block link is an appropriate transition point to taller buildings (up to 20m) in the centre of this streetblock
- ⑫ Acknowledge the presence and scale of The Mill, a heritage place and prominent landmark of this street block with adjoining development that is compatible in scale (up to 16m) and which maintains appropriate side setbacks

- 36m (9-10 storeys)
- 24m (6-7 storeys)
- 20m (5-6 storeys)
- 16m (4-5 storeys)
- 14m (3-4 storeys)
- 12m (3 commercial storeys)
- 11m (3 residential storeys)
- Exclusions (public open space, Hospital Campus, Sacred Heart Cathedral)
- Precinct boundary



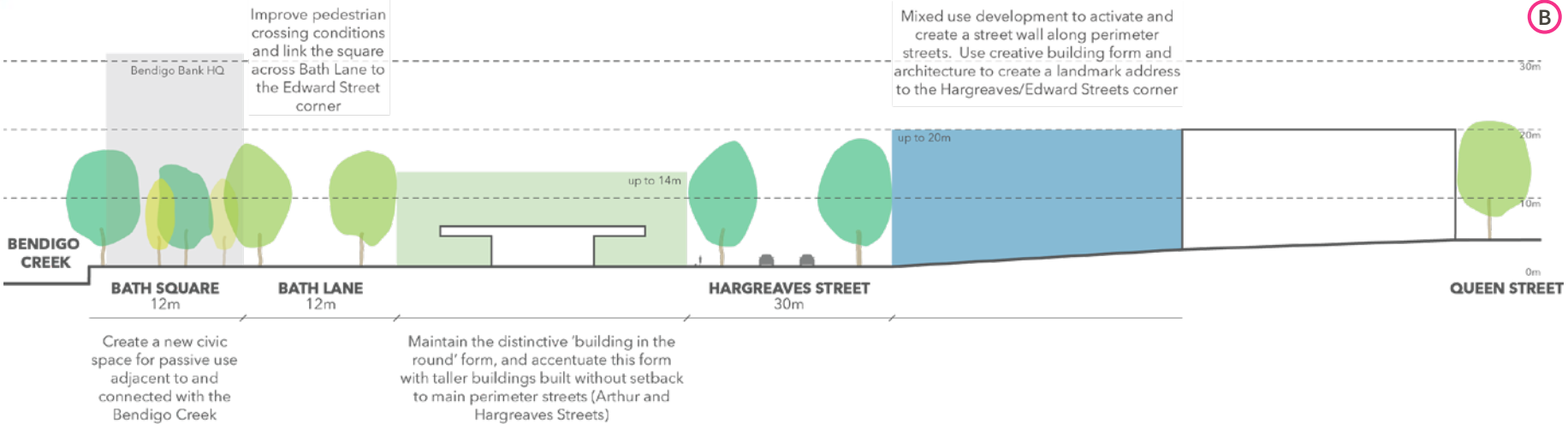
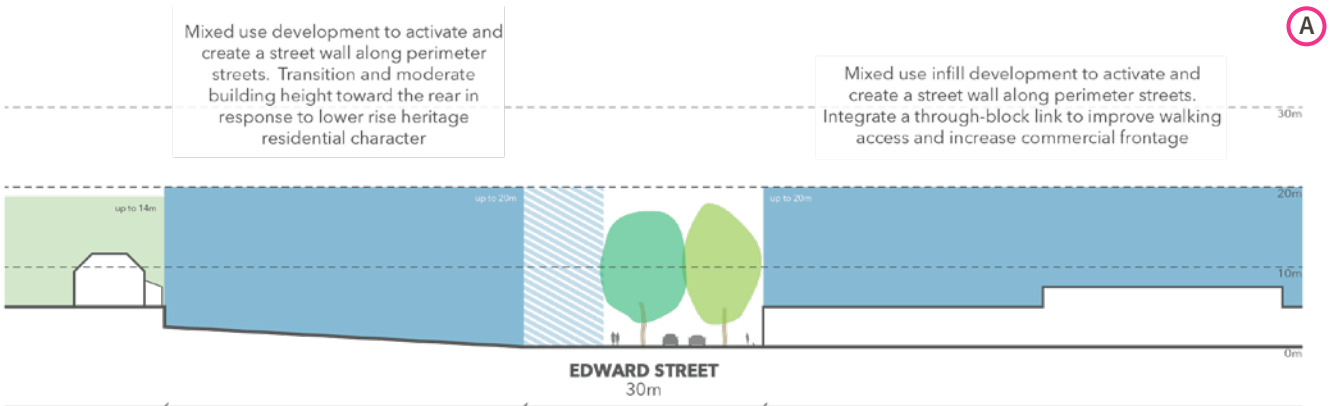
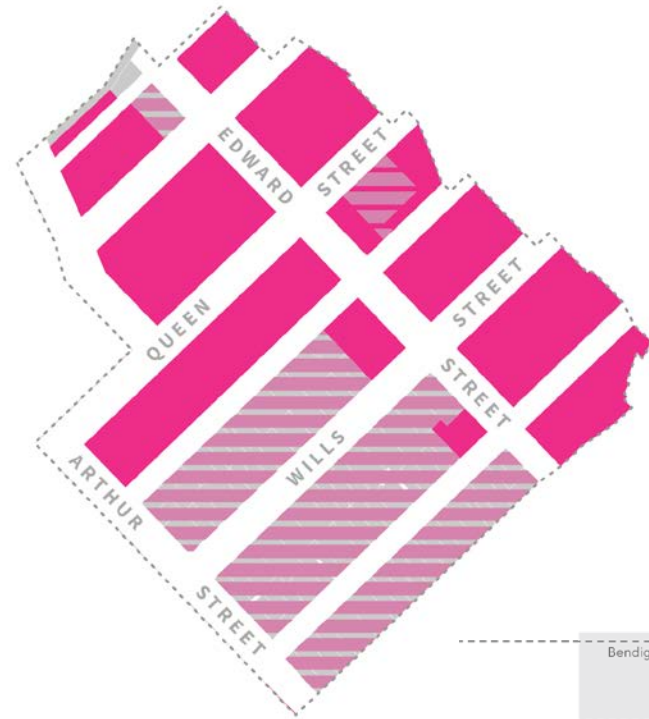
Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary



Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



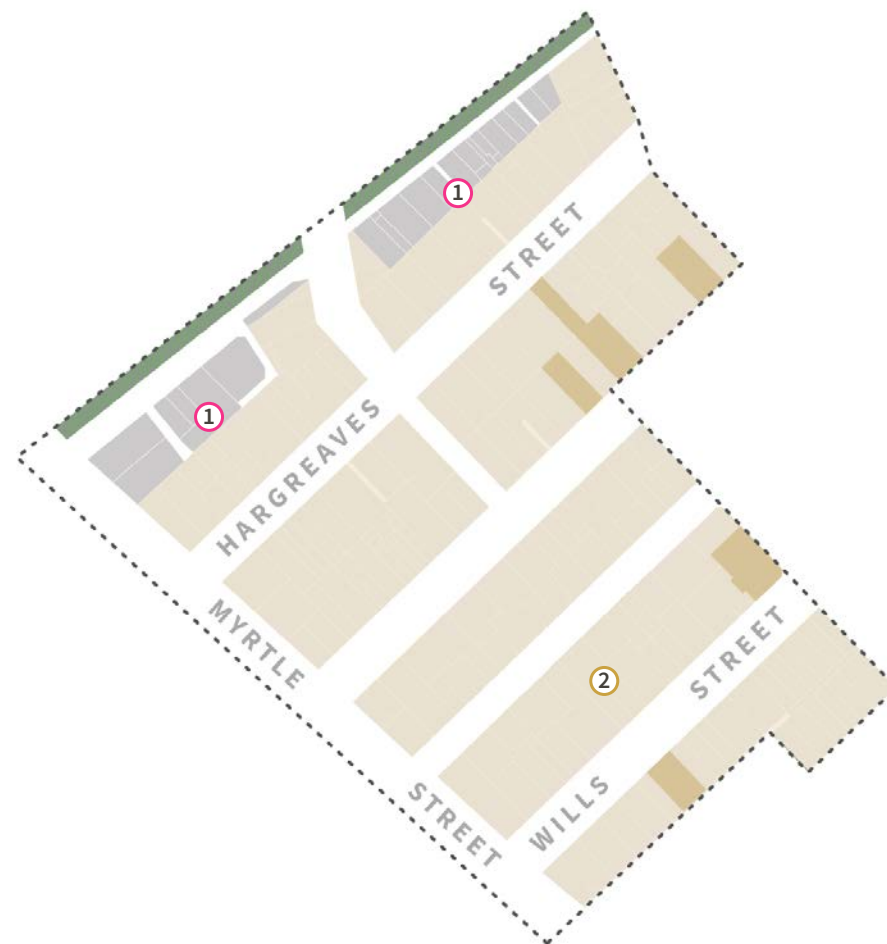
PRECINCT 3 PREMIUM RESIDENTIAL

Precinct vision

A predominantly residential district of preserved heritage housing interwoven with sensitive residential infill developments and set within tree-lined streetscapes. Professional services have progressively relocated to the Retail Core and adjoining precincts.

Precinct guidelines

Preferred maximum building height



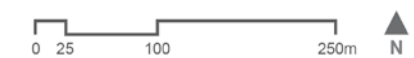
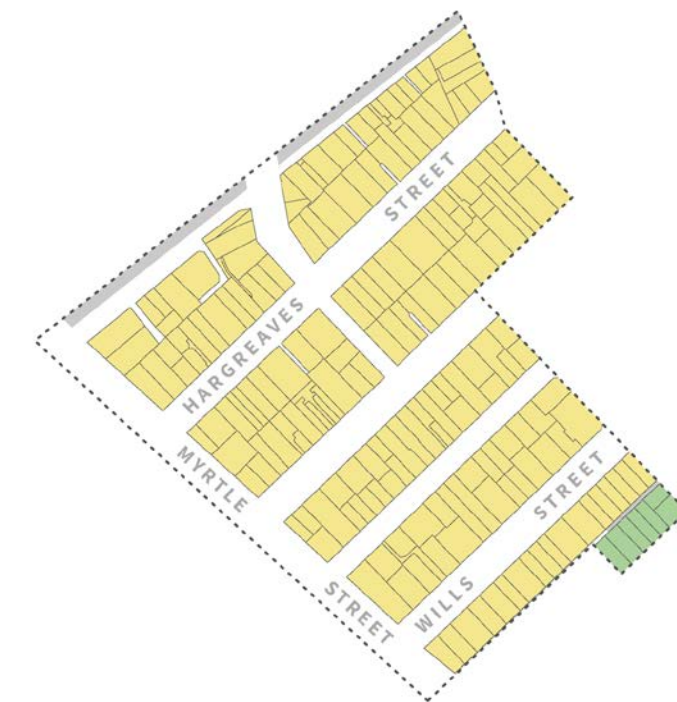
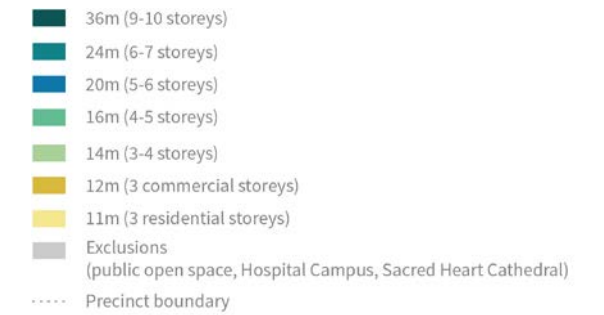
Promote the replacement of hard stand on-site parking areas with a combination of high quality residential infill (extensions and second dwellings) and reinstatement of private gardens and smaller landscaped areas

Promote investment in refurbishment of heritage building stock, enabled by financing options such as subdivision of valuable sites for sensitive infill development within the rear sections of larger sites and corner sites

Preference high quality, appropriately scaled infill development of the rear sections of larger sites and corner sites, and preferably comprising home extensions or detached second dwellings

Maintain garden areas of adequate size and location to support canopy trees, especially within a side or rear setback

- ① Increase the density and diversity of residential housing flanking the Bendigo Creek and in close proximity to the Retail Core
- ② Adaptively reuse heritage building stock for small-scale professional services along Wills Street whilst preserving the visual character of a residential streetscape comprising detached dwelling-style buildings set in landscaped gardens

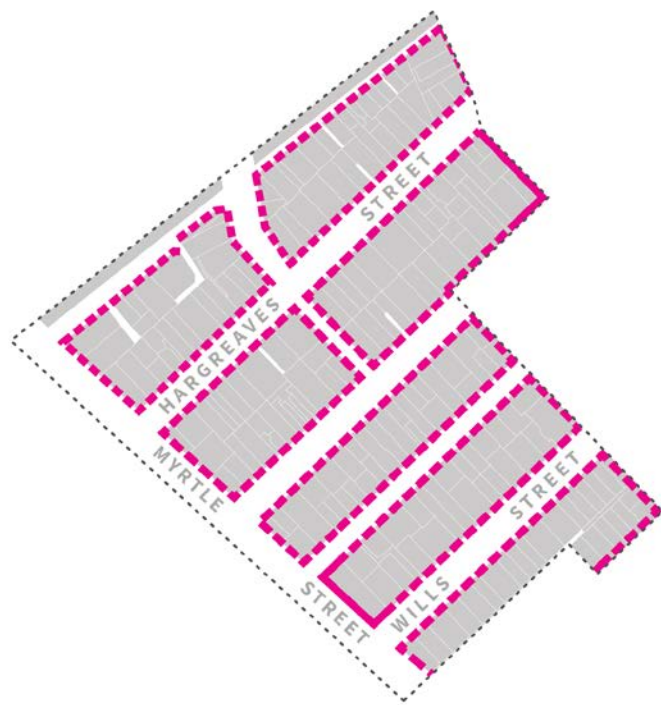


Precinct guidelines



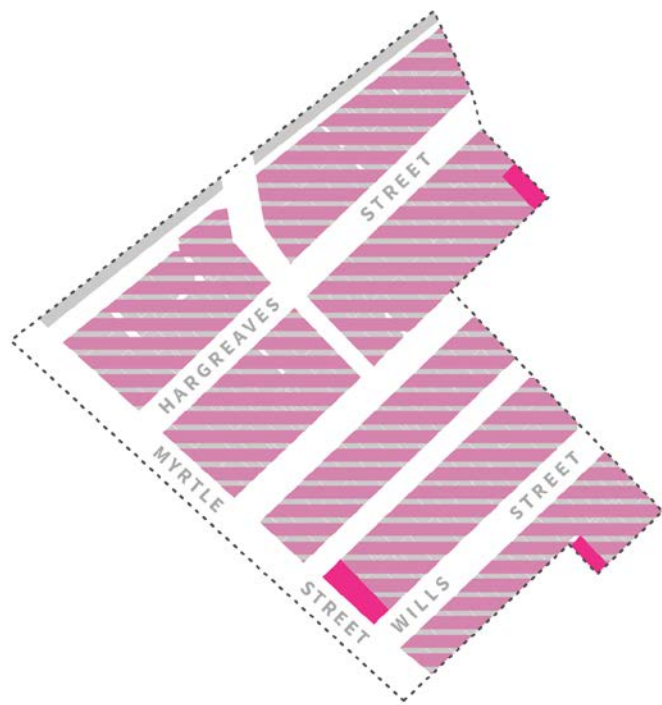
Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary



Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



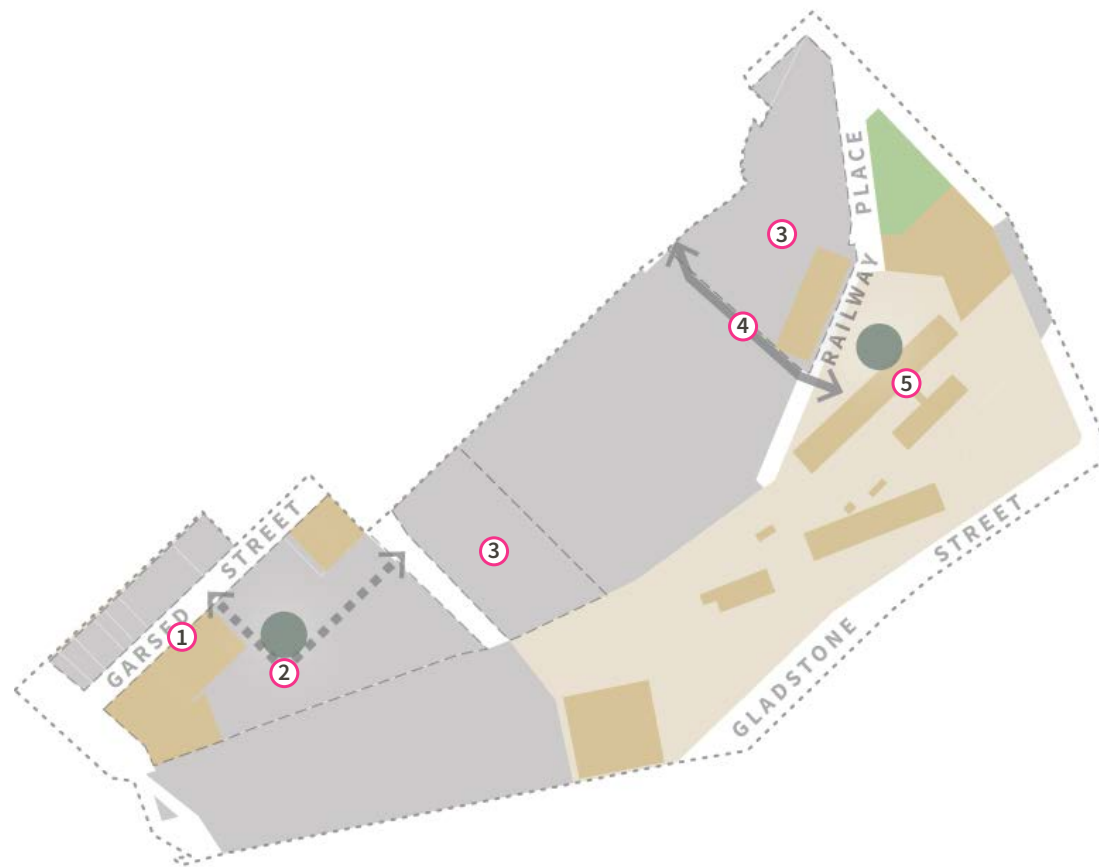
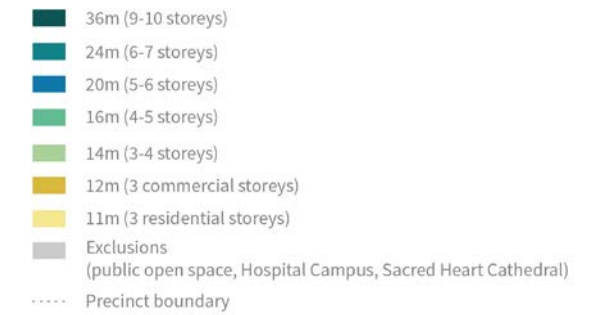
PRECINCT 4 BENDIGO STATION, MARKETPLACE AND FORMER FACTORY SITES

Precinct vision

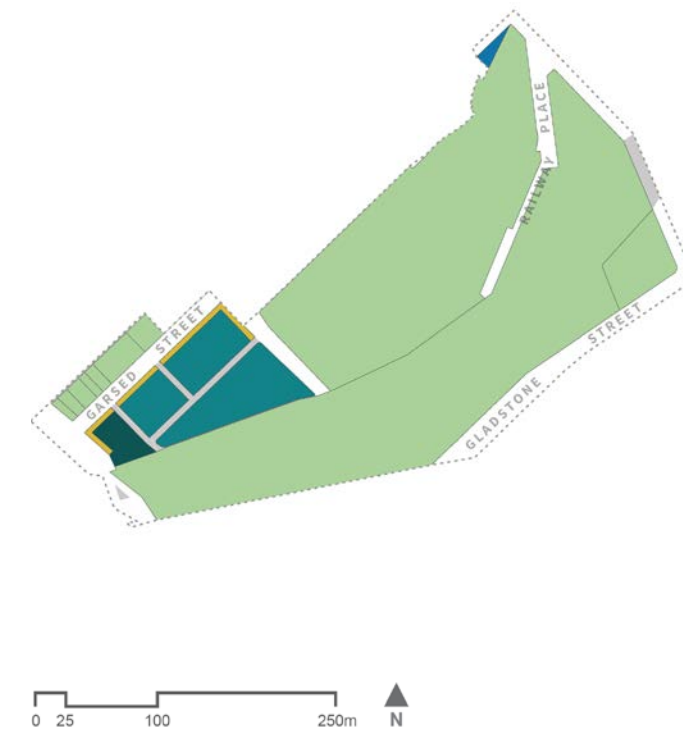
A precinct of substantial urban renewal. Fine-grained, mixed use developments with associated community uses, are interwoven with the established fabric of industrial built heritage. Large-scale redevelopment in the vicinity of the railway station to optimise the potential of the city's main transport hub, with high quality built form and public domain to create a new civic focal point.

Precinct guidelines

Preferred maximum building height



- ① Retain and adaptively reuse industrial building heritage along the site frontage. Preserve the distinctive sawtooth building profiles to bookend the precinct and retain a setback zone equivalent to at least one 'sawtooth' bay along Garsed Street
- ② Promote high quality adaptive reuse of the industrial architectural heritage of the former Crystal Ice-Gillies Pies factory sites on Garsed Street to create a unique mixed use quarter with higher density living in close proximity to services and transport. Develop the sites with consideration to:
 - The opportunity for imaginative design of adaptable mixed buildings of unique built form character derived from the industrial heritage and arranged to frame and address internal streets and laneways
 - Creating an exemplary landmark building (up to 36m) to capitalise on the prominent location at the Garsed and Myrtle Streets corner, behind the former Gillies Pies factory
 - Establishing a simple internal grid of streets and laneways that is strongly connected with the wider City Centre
 - Creating a new public space to service the development and adjoining neighbourhood that is connected to the internal street network and provides a character and amenities appropriate to the development density
- ③ Subject an assessment of the potential impact on the City Centre retail core, encourage further intensification of development of the Marketplace site to diversify land use and activity in proximity to the transport hub. Potential expansion into surface carpark areas should be based around the establishment of a connected public street grid
- ④ Maintain direct, high quality pedestrian connections between the Marketplace and the Bendigo Railway Station precinct
- ⑤ Substantially redevelop the Bendigo Railway Station precinct, including modern expansion of existing station buildings around a new civic forecourt/concourse and the adaptive reuse and restoration of railway heritage buildings

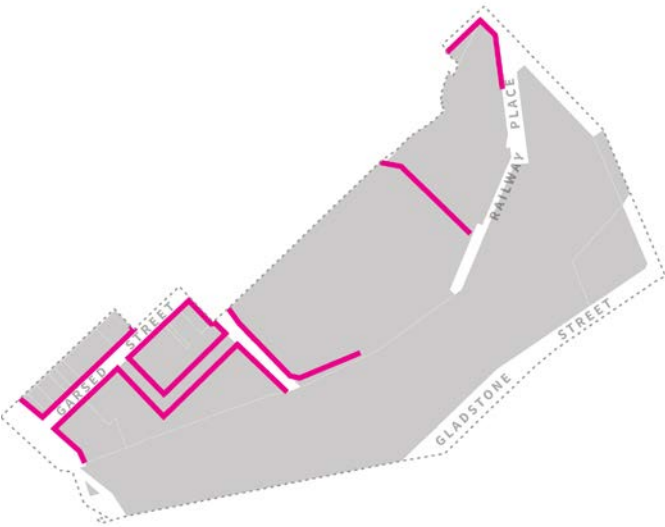


Precinct guidelines



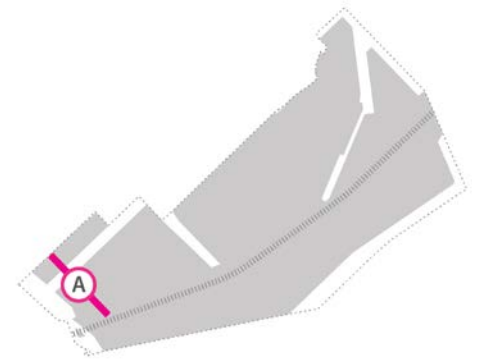
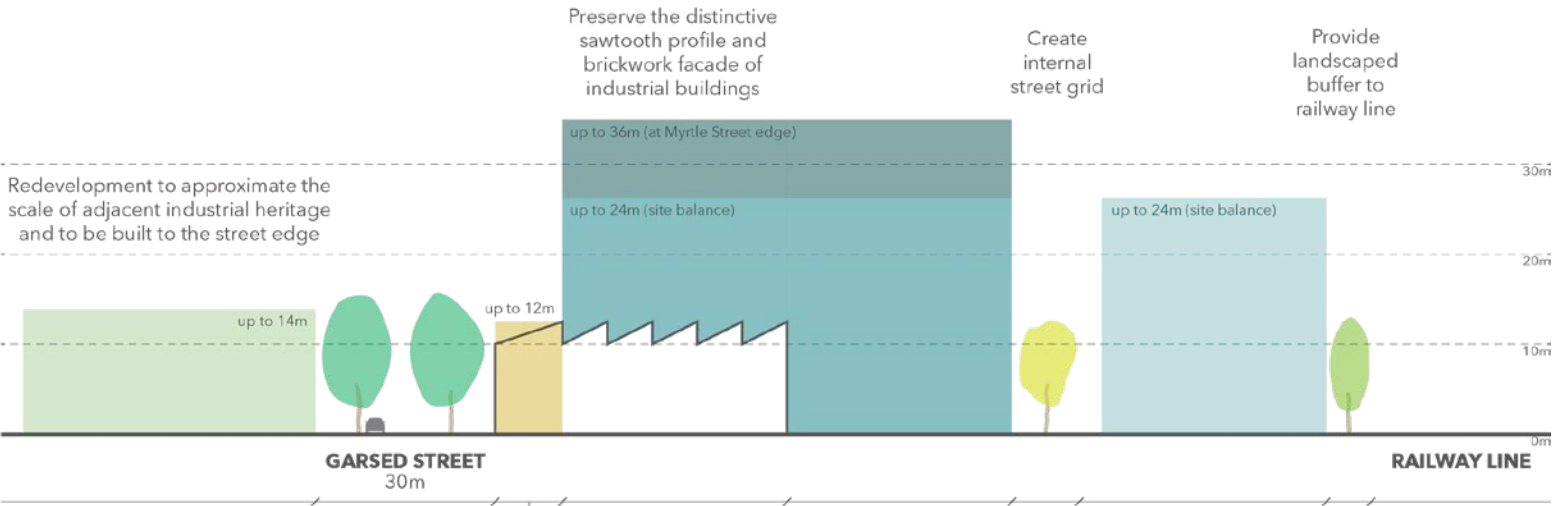
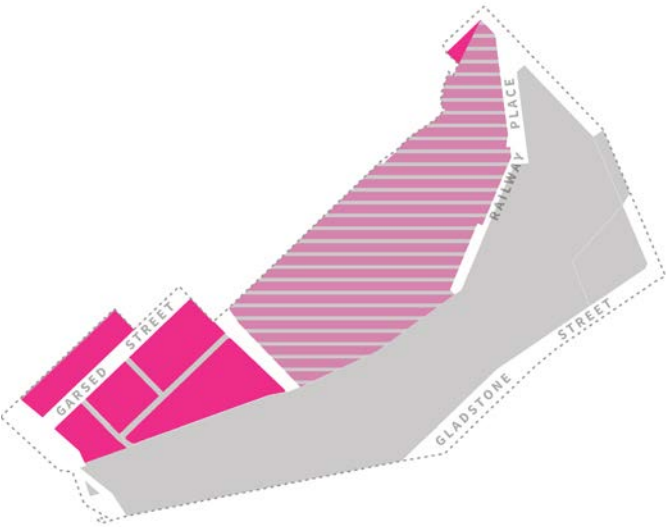
Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary



Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



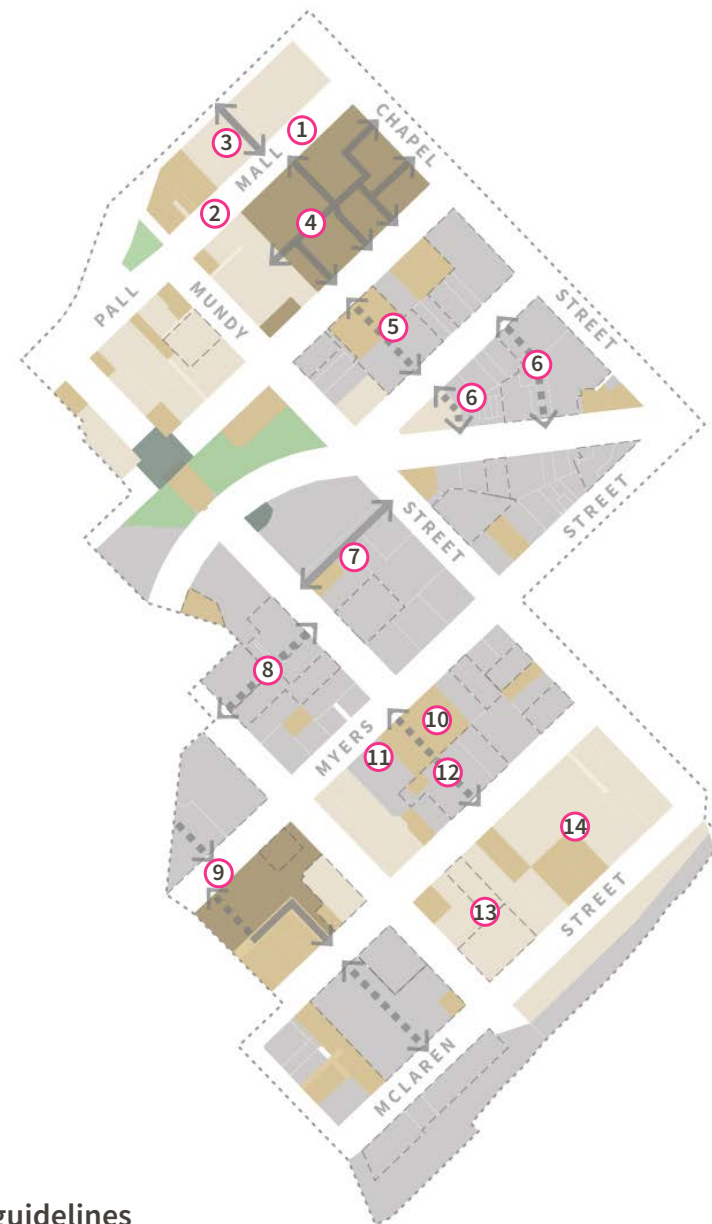
PRECINCT 5 CIVIC AND COMMERCIAL MIXED USE

Precinct vision

Large scale civic activities, buildings and public spaces edged by mixed use developments blending into predominantly residential neighbourhoods east of Myers Street.

Precinct guidelines

Preferred maximum building height



Precinct guidelines

- Heritage sensitivity (VHR listed)
- Heritage sensitivity (individual significance)
- Heritage sensitivity (precinct)
- Street blocks and parcels
- Strategic redevelopment sites
- Parkland
- Civic space
- Through-block pedestrian links (existing / proposed)
- Precinct boundary

- Encourage increased visitor accommodation on McCrae Street to take advantage of close access to tourism attractions, services and public and active transport connections
- Recognise the predominance and lower building scale of established heritage places and the Dai Gum San precinct by containing capacity for taller new development (up to 20m) to the core of the block (part of the public carpark which includes the public thoroughfare to Dai Gum San, and to the William Farmer site)
- Enhance the public through-block connection to Dai Gum San with integration as part of new building form (e.g. cantilevered upper levels) and ground floor activation
- Encourage continued development expansion of the Bendigo TAFE whilst retaining a campus-style layout comprised of publicly-accessible pedestrian links as well as linked internal courtyards and open spaces enclosed by buildings
- Retain a publicly-accessible through-block link between Hopetoun and Hargreaves Streets as part of redevelopment of the Hopetoun Street Mill
- Provide through-block links connecting Hopetoun Street with Lyttleton Terrace. The major, eastern-most link should take the form of an internalised open-air walking street with continuous internal frontages, as a safer and more amenable access alternative to Chapel Street. A secondary link should be created as part of any future redevelopment of the Beaufort site
- Service central City Centre parking needs with an additional multi-storey car park at Market Street
- Create a new through-block link between St Andrews Avenue and Williamson Street as an continuation of Market Street. This link should be an open pedestrian laneway with active frontages at ground level
- Preserve the visual prominence of St Paul's Cathedral with moderated building heights along the Myers Street address. Create an axial viewline to the Cathedral from Lyttleton Terrace with a re-aligned pedestrian laneway that is open to the air or partly enclosed. Provide active commercial frontage at ground level
- Support higher density residential infill development to the rear of the St Andrew's Uniting Church site, and to a preferred maximum building height of 16 metres.
- Preserve the visual prominence of St Andrew's Uniting Church with moderated building heights and setbacks to adjacent sites.
- Create a through-block link for pedestrians between Myers and Mollison Streets, incorporating part of the churchyard and passing through future housing development at the rear
- Contain infill development on commercial sites throughout this street block to a more modest height (12m) for compatibility with low-rise heritage residences and adapted offices
- Maintain the predominant residential use and 'heritage gardens' character of residential pocket between Mollison and McLaren Streets

- 36m (9-10 storeys)
- 24m (6-7 storeys)
- 20m (5-6 storeys)
- 16m (4-5 storeys)
- 14m (3-4 storeys)
- 12m (3 commercial storeys)
- 11m (3 residential storeys)
- Exclusions (public open space, Hospital Campus, Sacred Heart Cathedral)
- Precinct boundary



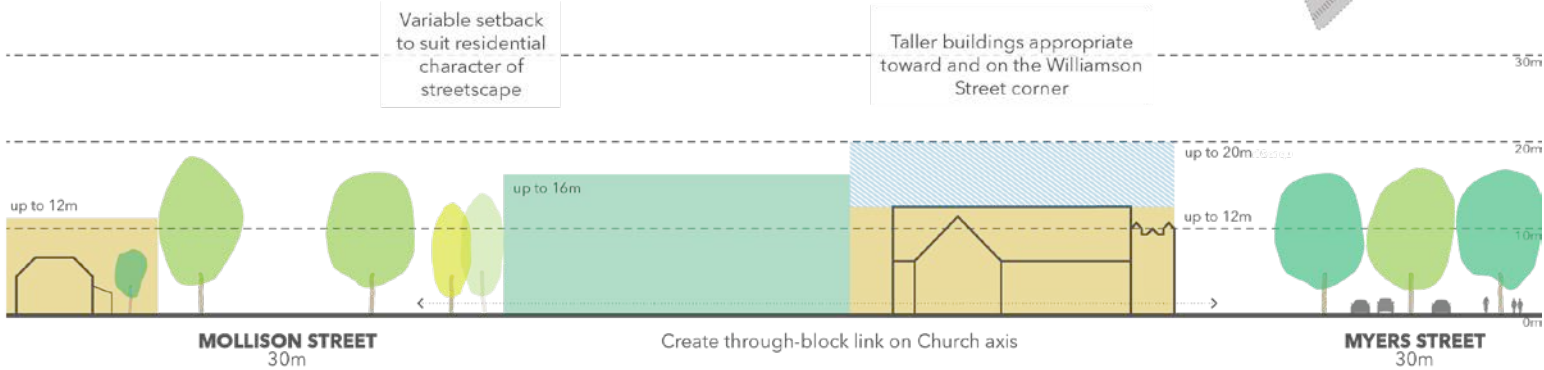
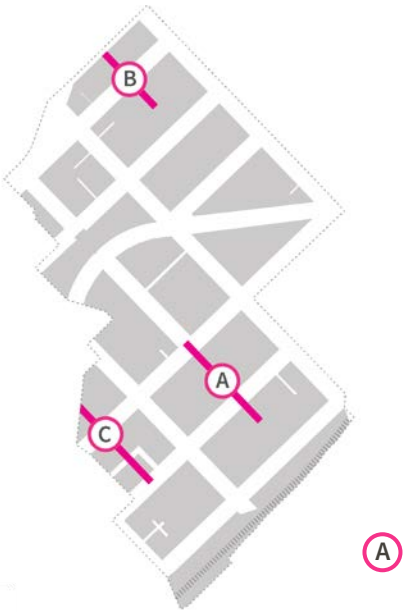
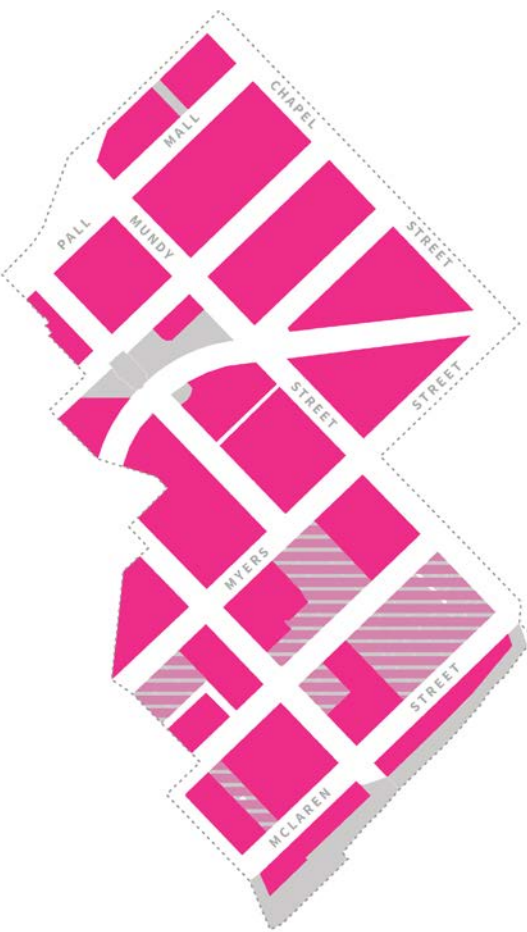
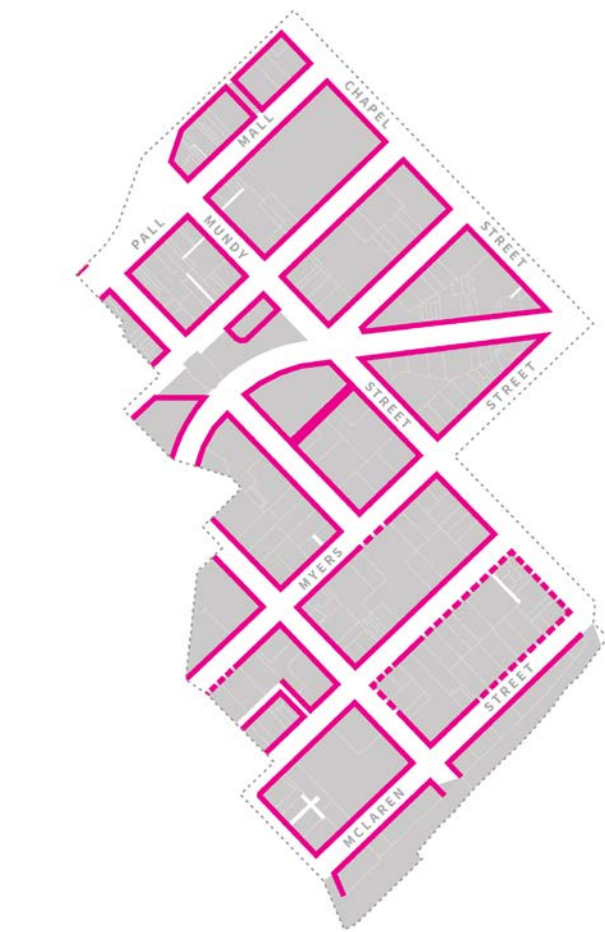
0 25 100 250m N

Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary

Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary

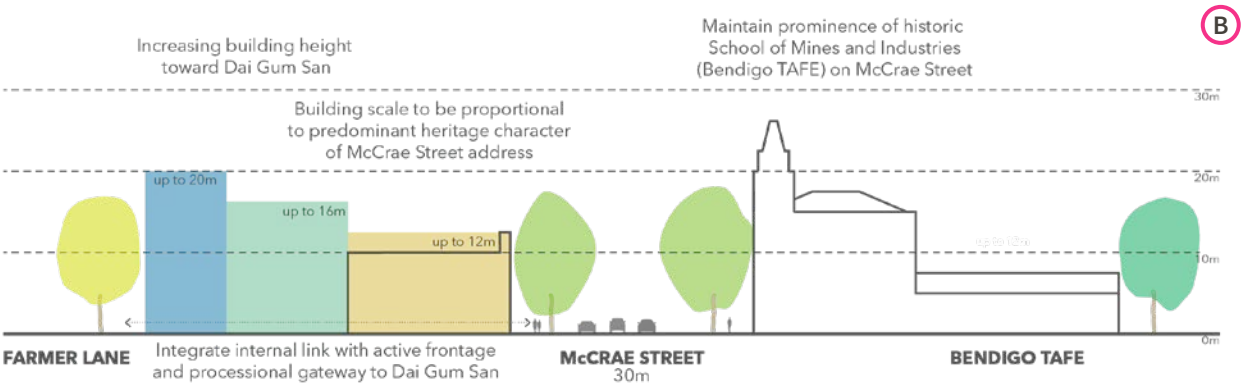


Low-rise residential buildings setback from the street

Mid-rise residential buildings appropriate on Mollison Street

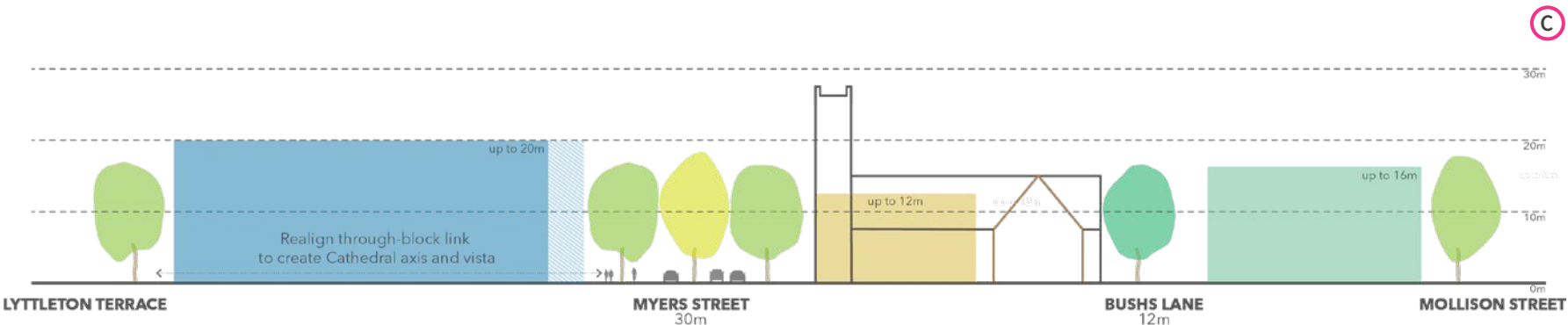
Preserve open sightlines to the St Andrews Church and modulate adjoining built form within a comparable height envelope

Approximate setback of church



Integrate internal link with active frontage and processional gateway to Dai Gum San

Improve pedestrian crossing conditions to connect TAFE campus with Dai Gum San



Substantial build out of street block with multi-use development

Create public forecourt

Enhance public forecourt

Maintain prominence of Cathedral on Myers Street with lower rise development

Development to approximate up to the height of the main Cathedral gable

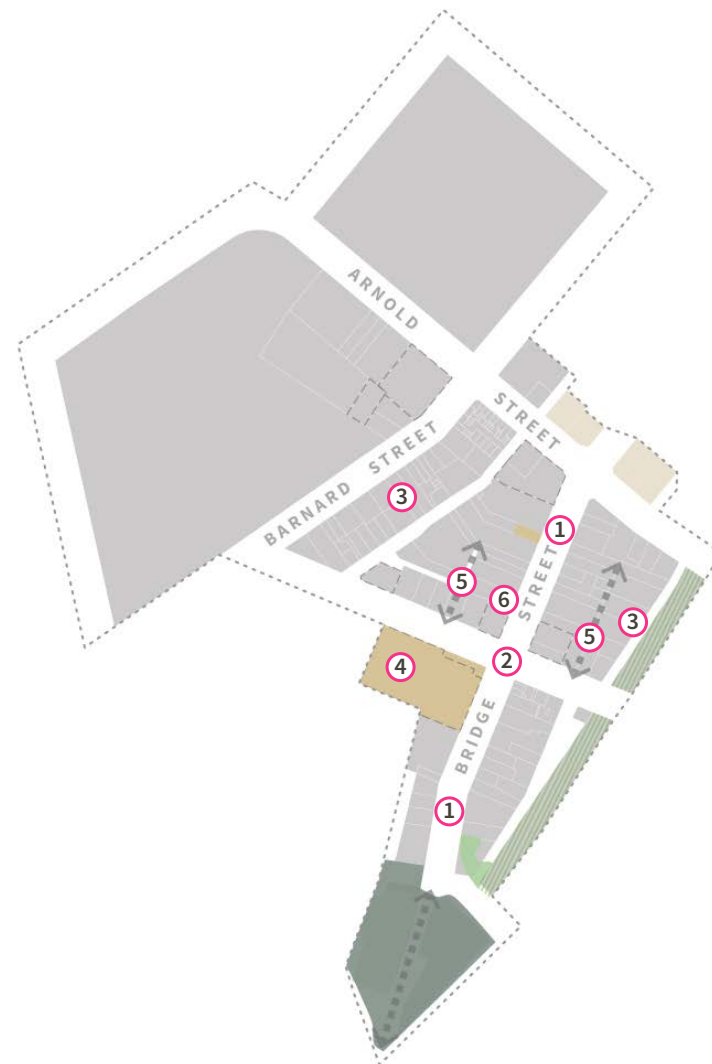
PRECINCT 6 BRIDGE STREET AND HOSPITAL

Precinct vision

A regional health precinct that is seamlessly linked to the City Centre core by a diverse mixed use precinct of shops, eateries, offices and apartments centred on Bridge Street.

Precinct guidelines

Preferred maximum building height



Precinct guidelines

- Heritage sensitivity (VHR listed)
- Heritage sensitivity (individual significance)
- Heritage sensitivity (precinct)
- Street blocks and parcels
- Strategic redevelopment sites
- Parkland
- Civic space
- Through-block pedestrian links (existing / proposed)
- Precinct boundary



- 1 Enable the incremental development of a diverse and complementary mix of uses on Bridge Street with a consistent zero setback for buildings, and with development heights from 14m to 16m along Bridge Street

Encourage varied building heights along Bridge Street to avoid the effect of a continuous 'wall' of buildings
- 2 Create a main street focal point at the intersection of Bridge and Water Streets including:

 - ▶ Prominent corner sites built up to 20m high
 - ▶ Distinctive building form and architecture, including respectful development of the historic Bridge Hotel site
 - ▶ Chamfered building corners at street level to support on-street activity and accentuate the public domain at the intersection
 - ▶ Lot consolidation as needed to optimise development opportunities
- 3 Increase residential density along Joseph Street, Uley Street and Barnard Street, with two- and three-storey (up to 14m high) apartment and townhouse-style built form
- 4 Develop the rear of the Coliban Water site including:

 - ▶ Building form up to 24m high with setbacks as required to mitigate overshadowing effects on Rosalind Park
 - ▶ Integration of a multi-storey carpark to support precinct parking needs and to offset future planned reductions of parking provision within Rosalind Park and along Bridge Street
- 5 Create new open air access lanes to open up opportunities for mixed commercial development and/or service access behind Bridge Street
- 6 Convert the Bridge Street surface car park (owned by the City of Greater Bendigo) to an integrated mixed use development

- 36m (9-10 storeys)
- 24m (6-7 storeys)
- 20m (5-6 storeys)
- 16m (4-5 storeys)
- 14m (3-4 storeys)
- 12m (3 commercial storeys)
- 11m (3 residential storeys)
- Exclusions (public open space, Hospital Campus, Sacred Heart Cathedral)
- Precinct boundary

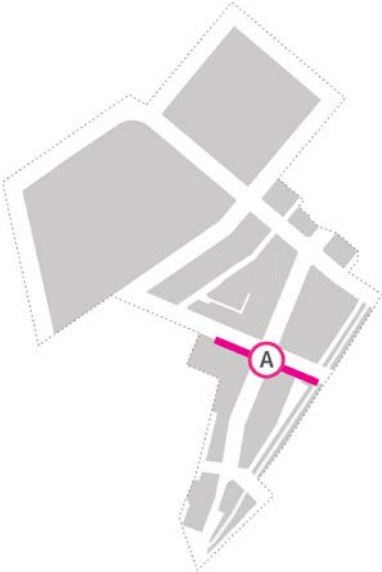
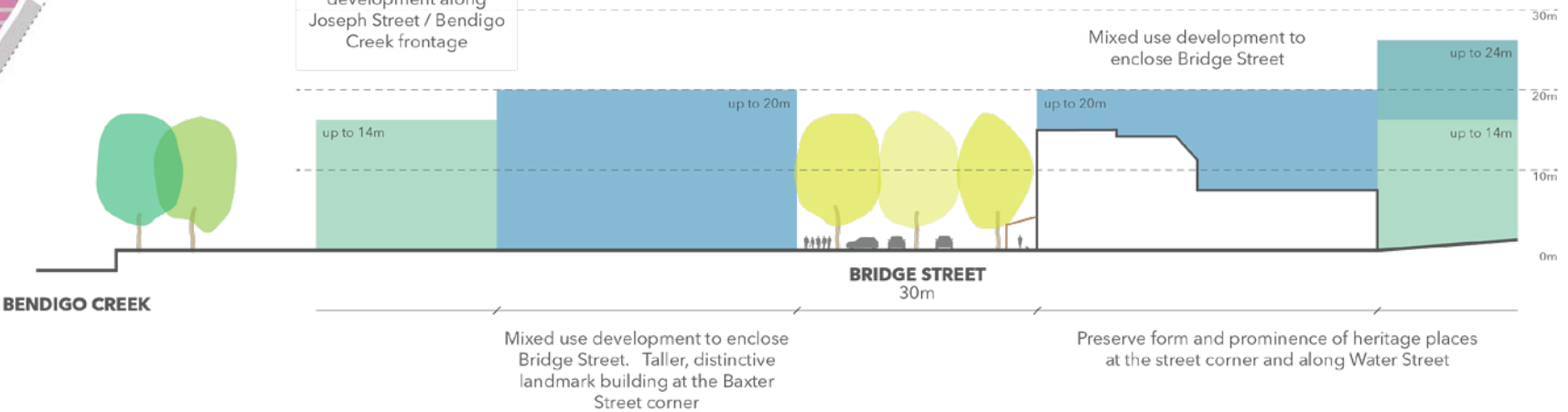
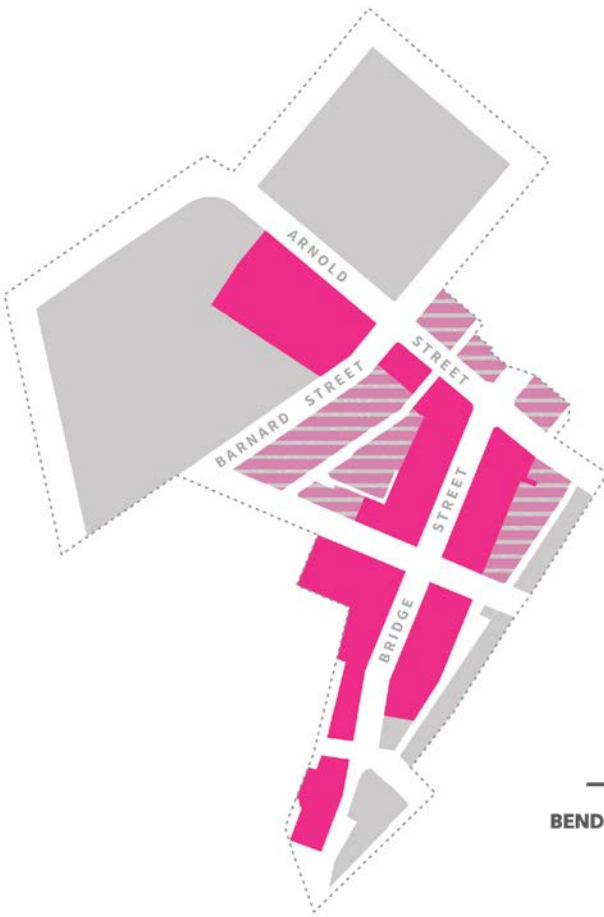
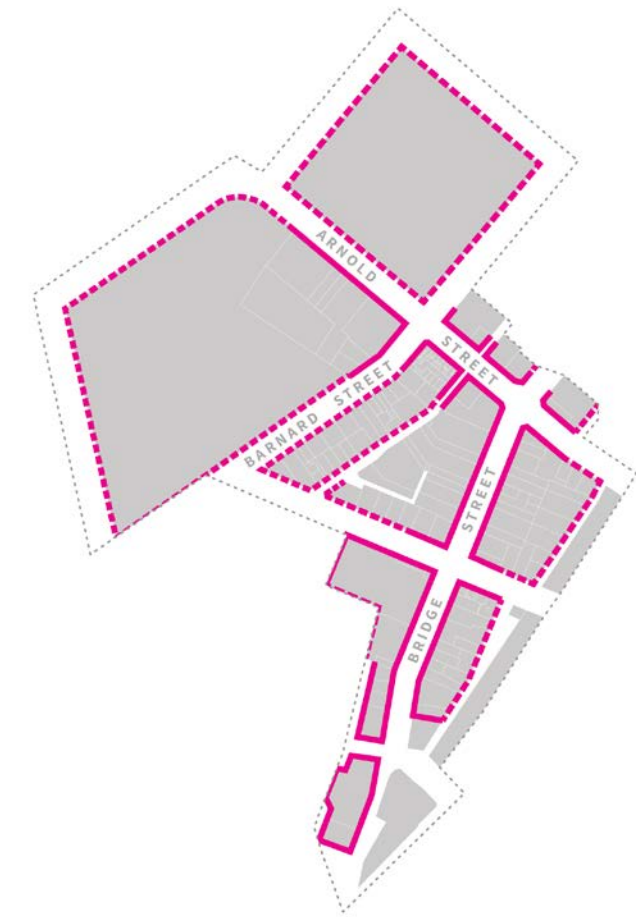


Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary

Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



PRECINCT 7 ROSALIND PARK

Precinct vision

An accessible green and shady refuge providing visual relief from the City Centre's increasing urbanisation and a diverse range of uses to contribute to activation

Precinct guidelines

Preserve the existing heritage building stock as historically and architecturally important and integral features of the precinct

Avoid further encroachment of the parkland by buildings and surface parking areas

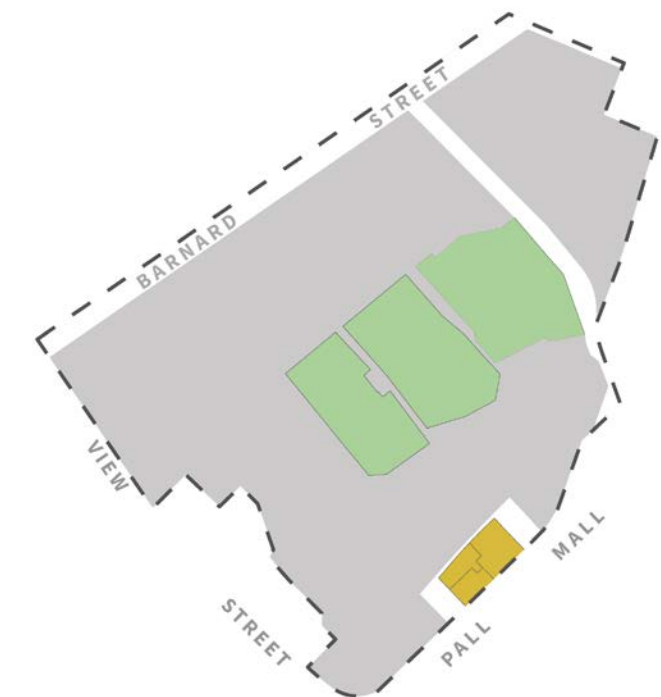
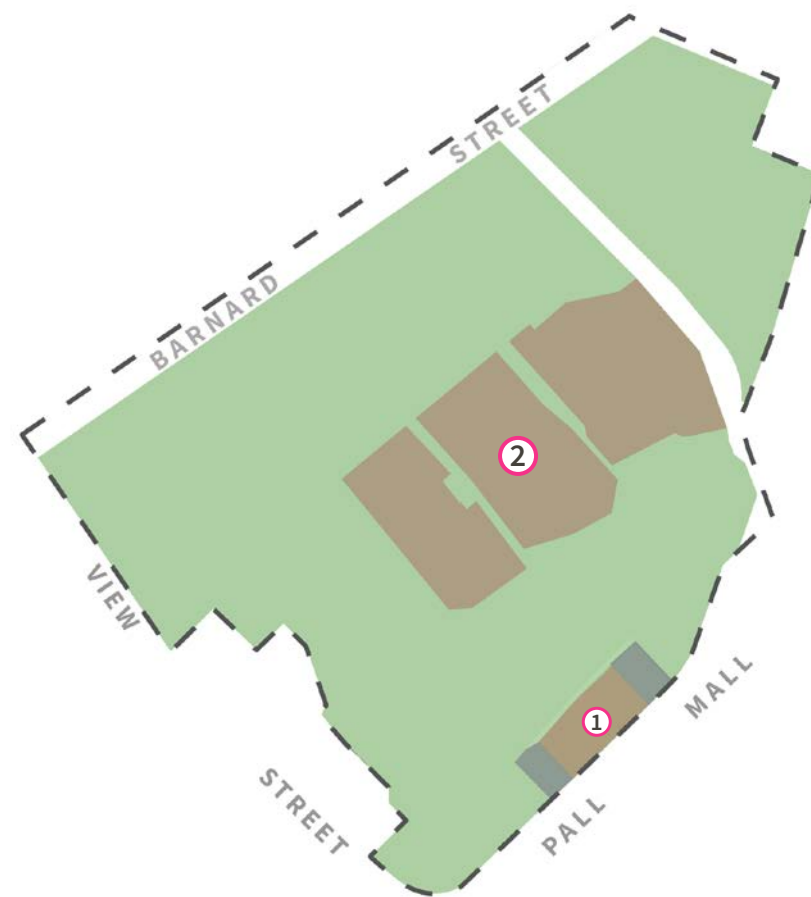
Co-locate and consolidate structures/facilities where practical to minimise building footprints

Increase the activation of building edges to the parkland

- ① Support the adaptive reuse of the historic Bendigo Law Courts on Pall Mall
- ② Moderate the potential impact of further development on the schools and Ulumbarra Theatre sites at the core of Rosalind Park by limiting building heights to mid-rise scale (up to 14m)

Preferred maximum building height

- 36m (9-10 storeys)
- 24m (6-7 storeys)
- 20m (5-6 storeys)
- 16m (4-5 storeys)
- 14m (3-4 storeys)
- 12m (3 commercial storeys)
- 11m (3 residential storeys)
- Exclusions (public open space, Hospital Campus, Sacred Heart Cathedral)
- Precinct boundary



Precinct guidelines

- Heritage sensitivity (VHR listed)
- Heritage sensitivity (individual significance)
- Heritage sensitivity (precinct)
- Street blocks and parcels
- Strategic redevelopment sites
- Parkland
- Civic space
- Through-block pedestrian links (existing / proposed)
- Precinct boundary

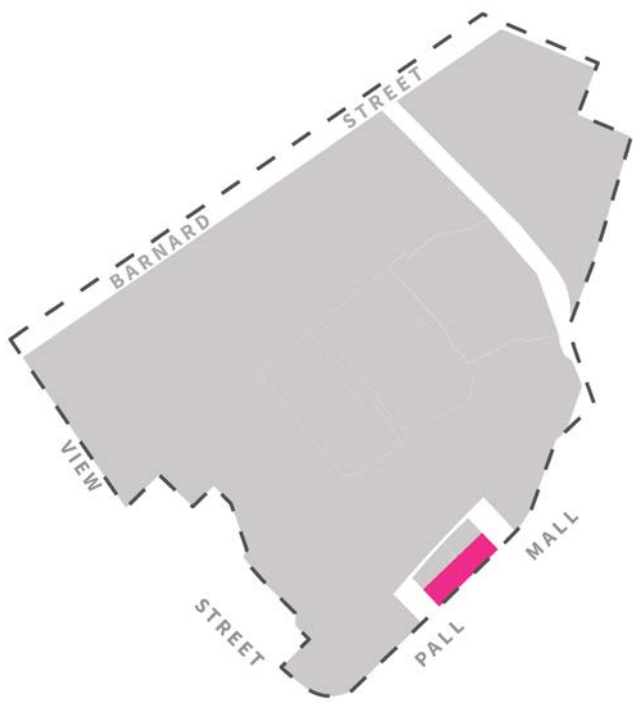
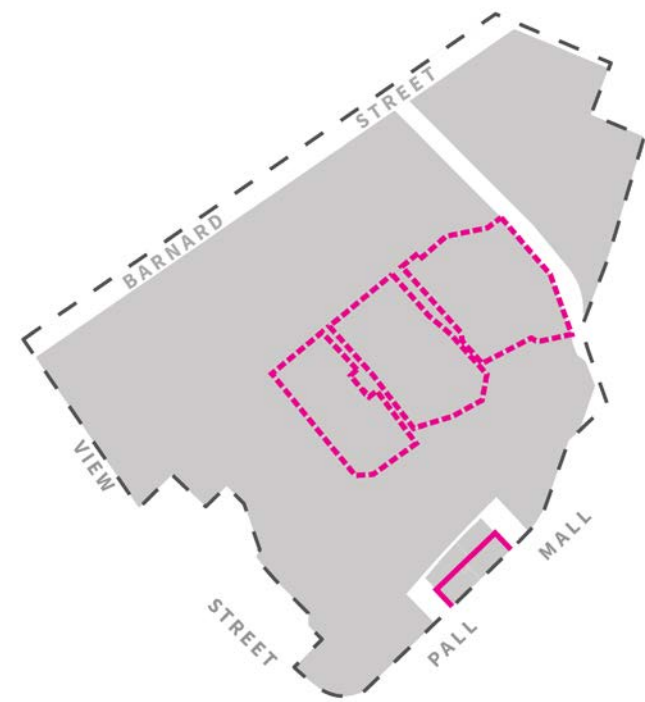


Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary

Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



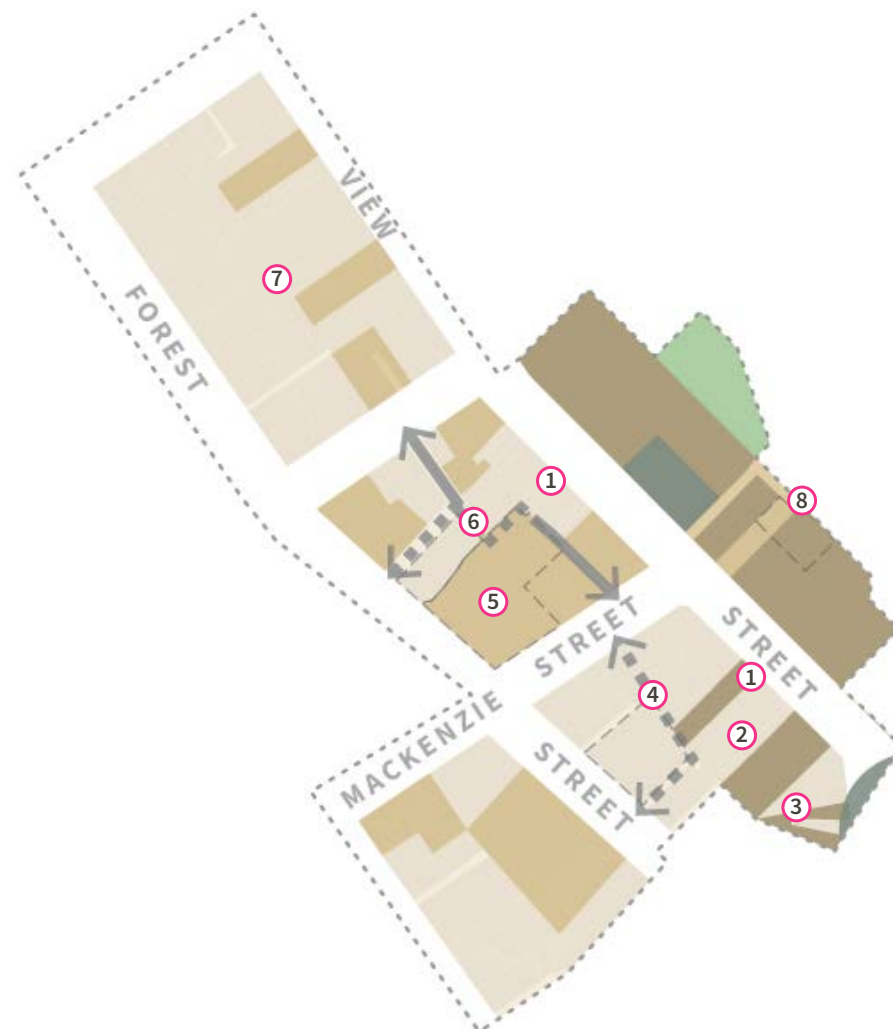
PRECINCT 8 VIEW STREET

Precinct vision

A cultural and tourism heritage centrepiece for the City Centre supporting boutique retail, eateries and the arts with sensitive interweaving of residential and accommodation uses that support a high standard of inner city living.

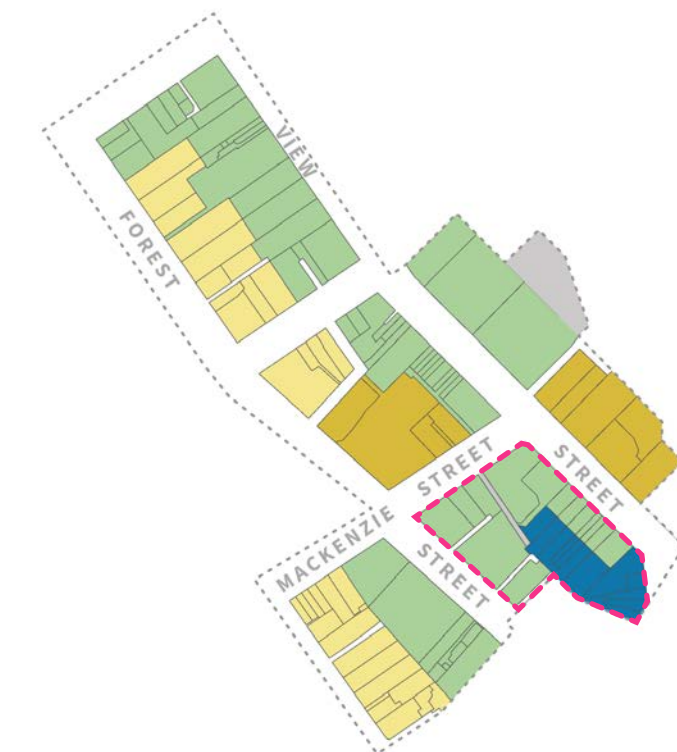
Precinct guidelines

Preferred maximum building height



- Protect, renovate and reuse heritage building stock as the primary built-form and character-defining asset of this precinct. A high level of responsiveness and complement to the unique heritage context of View Street must be demonstrated for all new buildings
- 1 Maintain the predominant two-to-three storey scale and heritage character of View Street, with careful integration of low- to mid-rise mixed use or residential development behind (up to around 14m)
 - 2 At lower View Street and toward View Point, sensitively integrate mixed use/residential infill up to and not exceeding 20m high behind heritage buildings. Permissible height within the above limit will be subject to viewshed modelling and analysis to demonstrate proposed built form is concealed or largely recessive existing by buildings/street trees when viewed from Charing Cross, Lower Rosalind Park, Pall Mall and View Street
 - 3 At View Point, maintain the visual prominence of the arc of heritage buildings overlooking Charing Cross as a distinctive landmark of central Bendigo
 - 4 Complete the through-block link across adjoining development sites. Provide as an open laneway for service access with casual surveillance and activation where feasible
 - 5 Incorporate small scale infill development at the rear of View Street, serviced by lanes from Forest, MacKenzie and Rowan Streets, and ensure new development sits within the scale and setbacks of established buildings, and preserves the visual prominence of church gables and spires
 - 6 Retain and link public laneways, connected with private accessways, to achieve a connected access network across this streetblock and to increase development potential
 - 7 Integrate lower scale development of up to 11m fronting Forest Street rising to a maximum of 14m in View Street between Mackenzie and Barnard Streets
 - 8 Activate and overlook the western edge of the Lower Reserve of Rosalind Park with new buildings scaled and designed sensitively in response to historic buildings addressing View Street, the steep slope and parkland setting, and to the civic landmark proportions established by the Bendigo Art Gallery

- 36m (9-10 storeys)
- 24m (6-7 storeys)
- 20m (5-6 storeys)
- 16m (4-5 storeys)
- 14m (3-4 storeys)
- 12m (3 commercial storeys)
- 11m (3 residential storeys)
- Exclusions (public open space, Hospital Campus, Sacred Heart Cathedral)
- Precinct boundary
- Mandatory building height to be applied



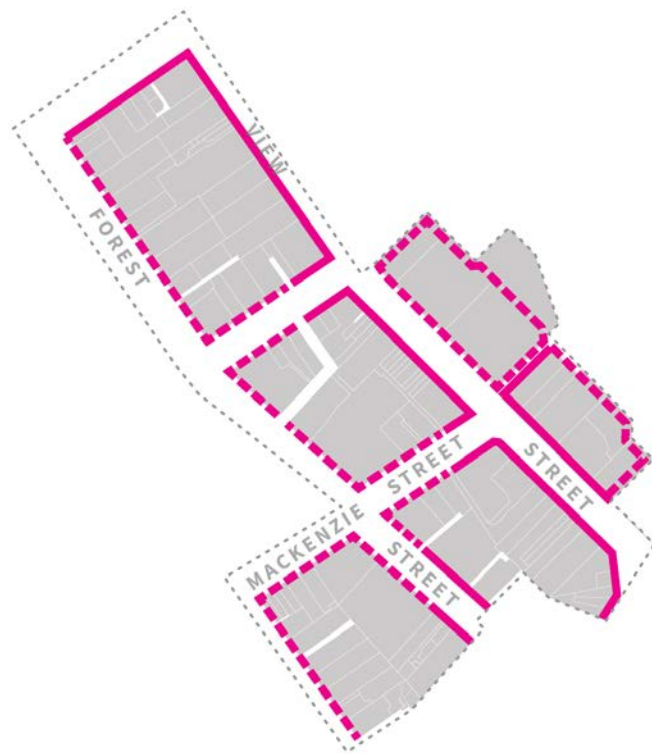
Precinct guidelines

- Heritage sensitivity (VHR listed)
- Heritage sensitivity (individual significance)
- Heritage sensitivity (precinct)
- Street blocks and parcels
- Strategic redevelopment sites
- Parkland
- Civic space
- Through-block pedestrian links (existing / proposed)
- Precinct boundary



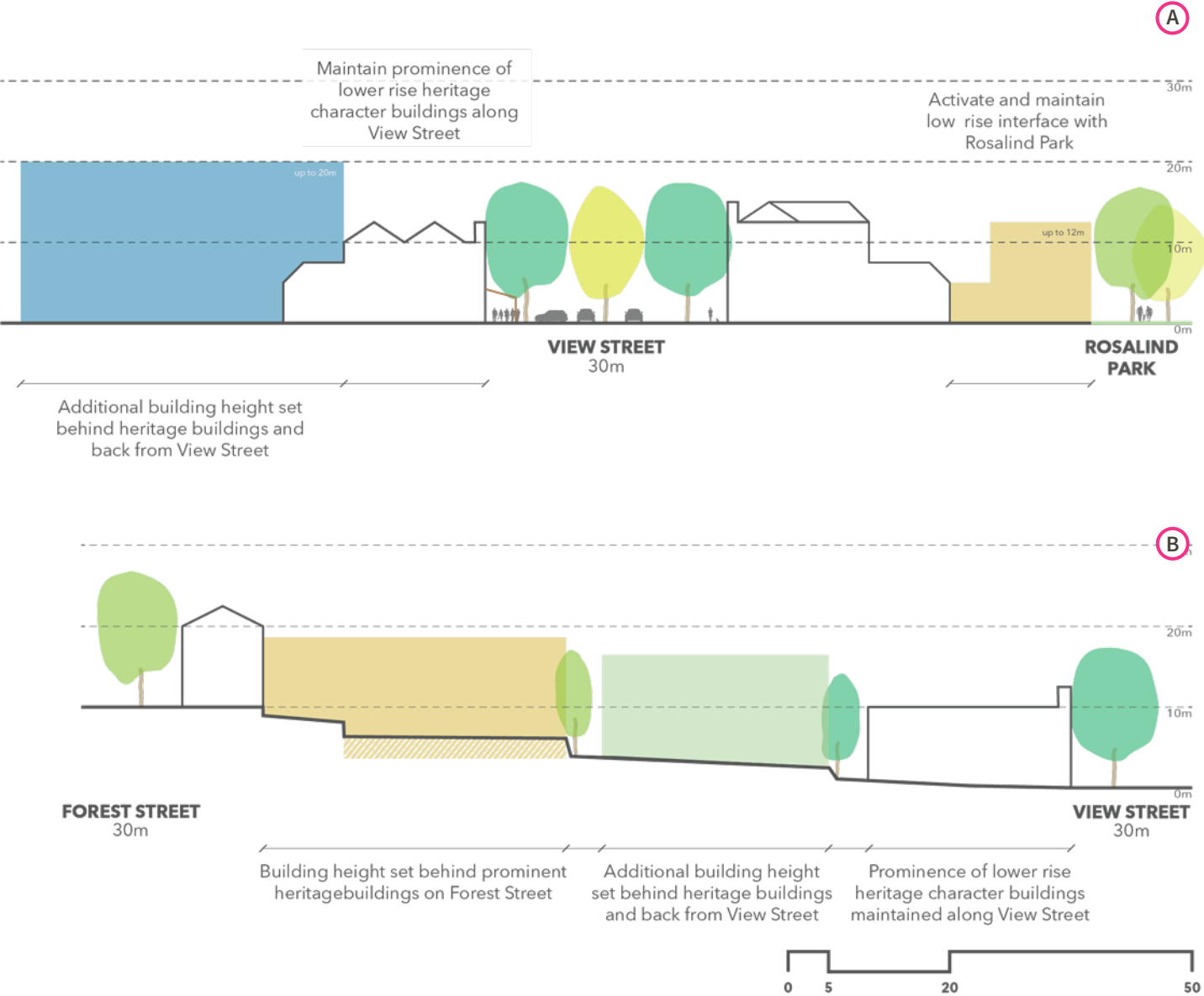
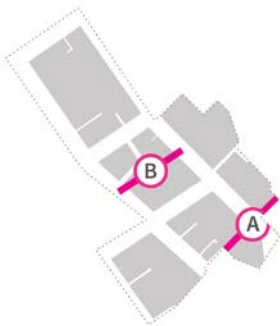
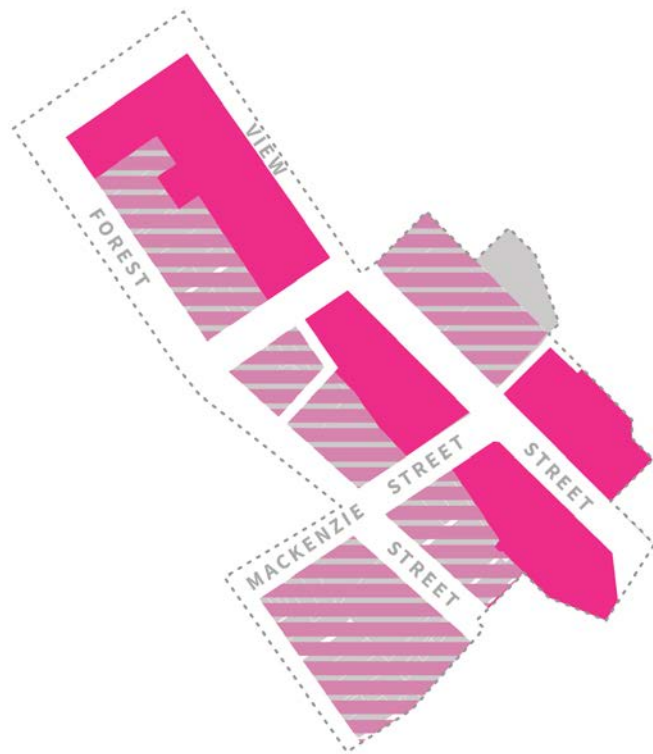
Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary



Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



PRECINCT 9 HIGH STREET

Precinct vision

The gateway to Bendigo City Centre. A high profile entranceway boulevard and commercial strip, combining historic buildings and a mix of contemporary uses, and crowned by the Sacred Heart Cathedral. Medium and higher density residential areas along and in proximity to the revitalised Bendigo Creek.

Precinct guidelines

Preferred maximum building height



Precinct guidelines

- Heritage sensitivity (VHR listed)
- Heritage sensitivity (individual significance)
- Heritage sensitivity (precinct)
- Street blocks and parcels
- Strategic redevelopment sites
- Parkland
- Civic space
- Through-block pedestrian links (existing / proposed)
- Precinct boundary



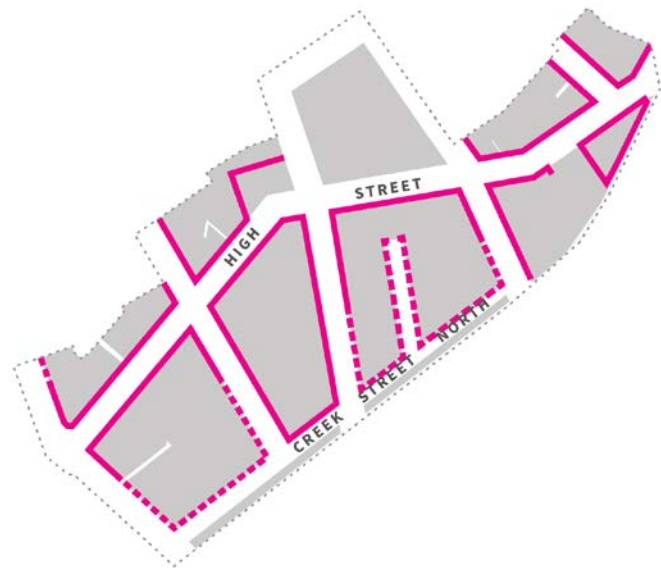
- ① Increase the footprint of commercial development along the premium High Street frontage, including expansion into front setbacks, and improvement of the overall built form address and presentation to the city's primary and high profile entranceway
- ② Limit vehicle access to High Street by providing access where possible via side streets, rear lanes or shared laneways.
- ③ Enable more substantial residential development (up to 14m) to occur on lower-lying ground around the perimeter of Wattle Square
- ④ Ensure development opposite the Sacred Heart Cathedral along High Street does not rival its scale and visual prominence by limiting building height to up to 16m (5m below the height of the first storey eaves of the Cathedral)
- ⑤ Use setbacks and transitioning building height to address amenity impacts on the mixed use and residential area immediately behind High Street
- ⑥ Create a connection from Burr Street through to High Street in the form of a pedestrianised through-block link that is activated at ground-level and preserves a viewline to the Sacred Heart Cathedral
- ⑦ Create a low-rise, architecturally-expressive building with public forecourt and entranceway to the Sacred Heart Cathedral that is integrated with sloping landscape of the Cathedral's open space
- ⑧ Increase higher density residential use and built form on the eastern side of High Street surrounding Girton College and fronting Londonderry Reserve and Creek Street North. Activate the Bendigo Creek frontage with site developments that address the public domain of the Creek reserve
- ⑨ Ensure the scale and design of buildings within the triangular block defined by High Street, Short Street and Bendigo Creek responds to the prominence of the City Family Hotel and to other heritage places, to the channelled form of Bendigo Creek with appropriate setbacks, to potential amenity impacts (shadowing and wind effects), as well as to the long viewline from High Street toward the Bendigo Bank
- ⑩ Maintain a through-block link within the Edward Street road reserve, lined or enclosed by buildings, for public access between High Street to Edward Street/Bath Lane on the south side of Bendigo Creek
- ⑪ Incorporate opportunities for public access to the Bendigo Creek frontage where properties directly abut the creek corridor

- 36m (9-10 storeys)
- 24m (6-7 storeys)
- 20m (5-6 storeys)
- 16m (4-5 storeys)
- 14m (3-4 storeys)
- 12m (3 commercial storeys)
- 11m (3 residential storeys)
- Exclusions (public open space, Hospital Campus, Sacred Heart Cathedral)
- Precinct boundary



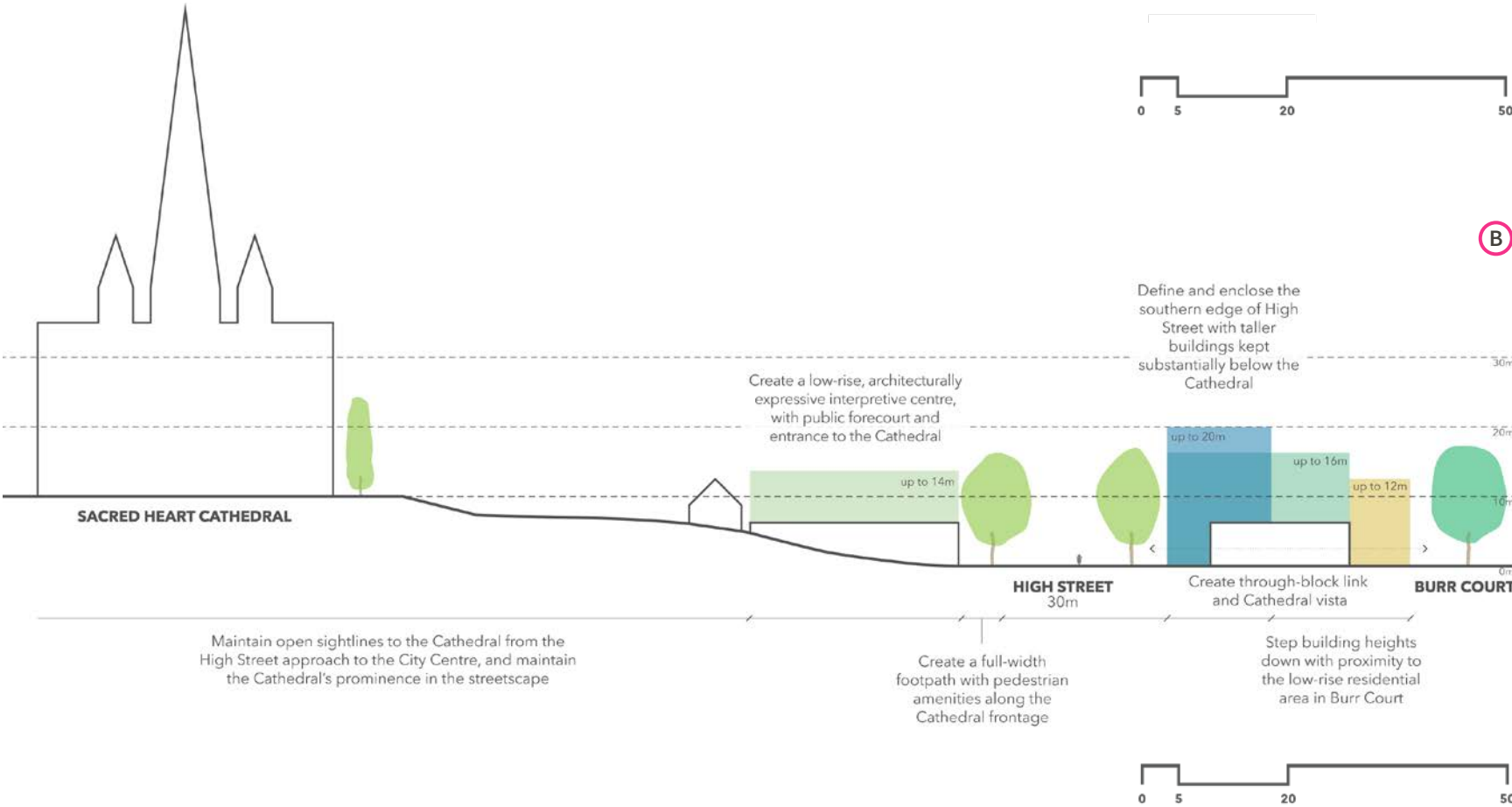
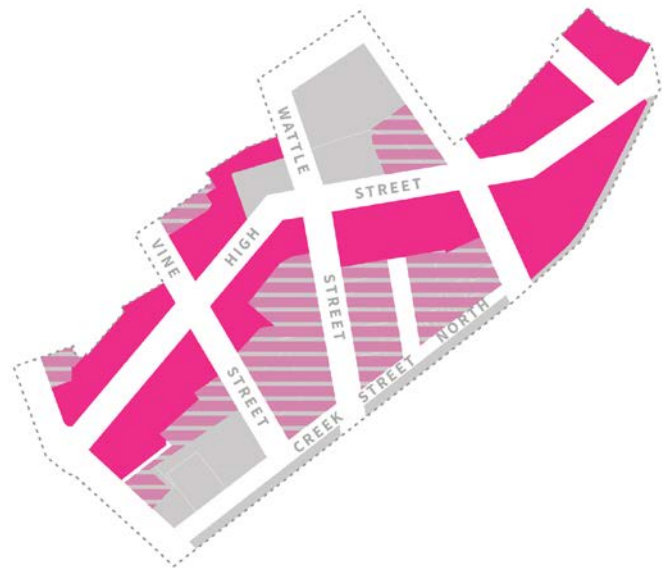
Building setbacks

- Zero setback
- Contextual setback
- Precinct boundary



Preferred site cover

- Full coverage (vicinity of 100%)
- Majority coverage (vicinity of 80%)
- Precinct boundary



6 PLANNING SCHEME IMPLEMENTATION

Action 18 of the Bendigo City Centre Plan 2020 identifies that an Urban Design Framework (UDF), together with other strategic background documents, are needed to support its implementation into the Greater Bendigo Planning Scheme.

Activity Centre Zone

The City intends to apply the Activity Centre Zone (ACZ) to the Bendigo City Centre. The ACZ has been selected as the preferred zone for the following primary reasons:

- Supports the implementation and streamlining of detailed strategic documents
- Allows for highly specific precinct-based land use and development prescription based on centre-wide or precinct-based outcomes, and
- Incorporates design guidelines to shape development typologies and guide the exercise of discretion when a planning permit is required

Within the ACZ, common, centre-wide challenges identified above will form the basis of centre-wide provisions. Precinct-specific development directions will form the basis of precinct provisions and, in particular, precinct guidelines.

Urban Design Framework

The UDF is proposed to be listed as a background document in the ACZ. Background documents have limited application in decision making though provide an essential source of background information to assist understanding the context within which a particular policy or provision has been framed.

The specific directions of the UDF are proposed to form part of the Planning Scheme as integrated provisions within the ACZ which frame and guide the exercise of built form discretion.



IMAGE CREDITS

All illustrations created by the City of Greater Bendigo.

Where the author of an photographic image is unspecified, the City of Greater Bendigo is the author and/or owner.

Credits are given with thanks for the following photographic images that have been reproduced within this document:

p4 Charing Cross at night

Author Alexander Cimal
Source Alamy

p8 Bendigo City Centre aerial view

Author Unspecified
Source Bendigoregion.com.au

p10 and p31 Charing Cross

Author and Source Bendigo Photography Tours

p23 Geelong Arts Centre redevelopment

Author Rory Gardiner
Source Geelong Arts Centre

p23 Le 2-22 Montreal Canada

Author Stephane Brugger
Source Architizer.com

p32 Chancery Lane

Author Unspecified
Source Bendigoregion.com.au

p32 Pennyweight Walk

Author Unspecified
Source Bendigoadvertiser.com.au

p55-56 Bendigo Town Hall

Author and Source Tourism Media

REFERENCES

Planning Practice Note No 17: Urban Design Frameworks, July 2015

Author Department of Environment, Land, Water and Planning

Planning Practice Note No 60: Height and Setback Controls for Activity Centres, September 2018

Author Department of Environment, Land, Water and Planning

Bendigo City Centre Plan 2020

Author City of Greater Bendigo

Bendigo City Centre Parking Futures Action Plan 2020

Author City of Greater Bendigo

Bendigo City Centre Public Domain Design Guidelines 2021

Author City of Greater Bendigo

Greater Bendigo Public Space Plan 2019

Author City of Greater Bendigo

Walk, Cycle Greater Bendigo 2019

Author City of Greater Bendigo

Public Open Space Contributions Policy 2020

Author City of Greater Bendigo